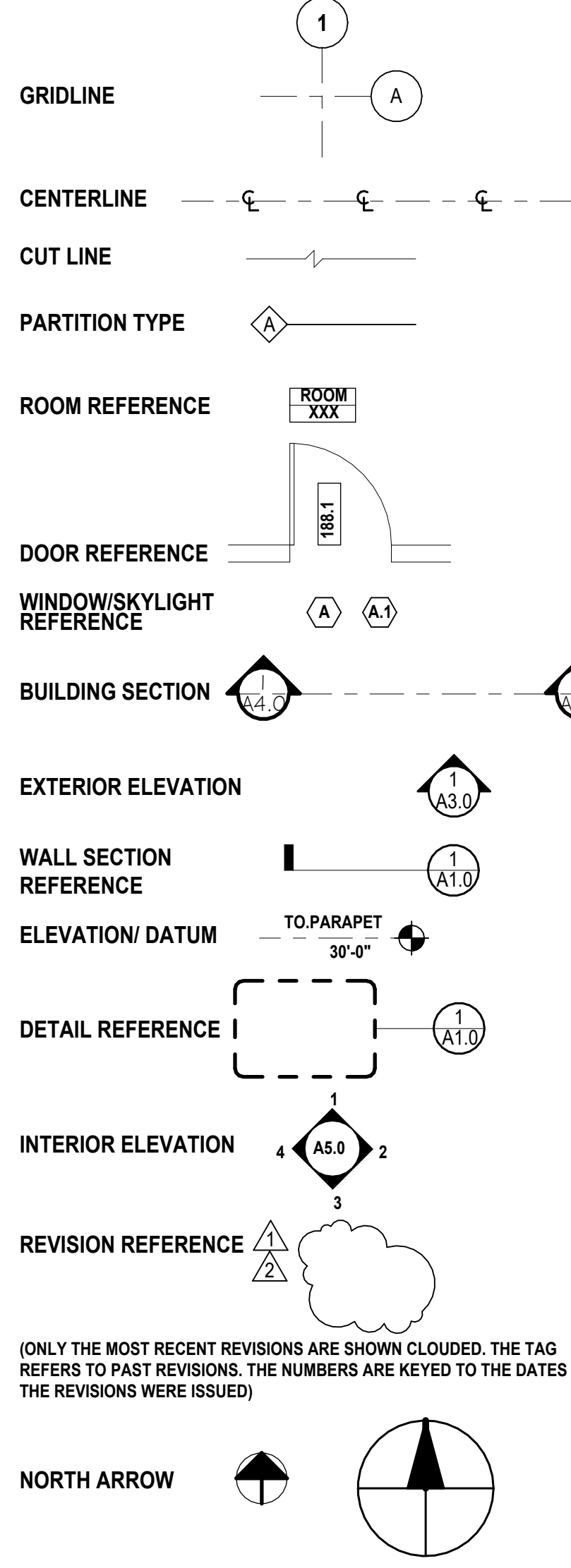


## ABBREVIATIONS

A.B. ANCHOR BOLT	F.H.M.S. FLAT HEAD MACHINE SCREW	P.B. PARTICLE BOARD
ABV ABOVE	F.H.W.S. FLAT HEAD WOOD SCREW	P.C. PRE-CAST CONCRETE
ACC ACCESS	FIN. FINISH	PCF POUNDS PER CUBIC FOOT
ACCU.S. ACOUSTICAL	FF. FACE TO FINISH	PERF. PERFORATED
A.C.P. ASPHALT CONCRETE PAVEMENT	FL; FLR. FLOOR; FLOORING	PERP. PERPENDICULAR
ACT ACOUSTICAL TILE	FLASH. FLASHING	P.GWB. PAINTED GYPSUM WALL BOARD
A.D. AREA DRAIN	FLUOR. FLUORESCENT	PL. PROPERTY LINE, PLATE
ADD ADDITIVE	F.O. FACE OF	P.L.A.M. PLASTER
ADJ. ADJUSTABLE	F.O.C. FACE OF CONCRETE	P.L.Y.W.D. PLYWOOD
A.F.F. ABOVE FINISHED FLOOR	F.O.F. FACE OF FINISH	P.N.L. PANEL
AGGR. AGGREGATE	F.O.I.C. FURNISHED BY OWNER AND	P.R. PAIR
A.H.J. AUTHORITY HAVING JURISDICTION	F.O.I.O. FURNISHED BY OWNER AND	P.S.I. POUNDS PER SQUARE FOOT
A.I.B. AIR & MOISTURE BARRIERS	F.O.M. INSTALLED BY OWNER	P.T. POSITION
ALT ALTERNATE	F.O.S. FACE OF STUDS	P.T.D. PAINT
ALUM. ALUMINUM	F.O.W. FACE OF WALL	P.T.D. PAPER TOWEL DISPENSER
AP. ACCESS PANEL	F.P.R. FIREPROOF	P.T.M. PARTITION
APPROX. APPROXIMATE	FRPL. FIREPLACE	P.V.C. POLYVINYL CHLORIDE
ARCH. ARCHITECTURAL	F.R. FRAME	P.W.D. PAINTED WOOD
ASB. ASBESTOS	F.R.T. FIRE RETARDANT TREATED	Q.T. QUARRY TILE
A.S.L. ABOVE SEA LEVEL	F.S. FLOOR SINK	Q. QUANTITY
ASPH. ASPHALT	FT. FOOT OR FEET	R. RISERS
AUTO. AUTOMATIC	FTG. FOOTING	RA. RETURN AIR
BD. BOARD	FURR. FURRING	RAD. RADIUS
BITUM. BITUMINOUS	FURT. FURTING	RB. RUBBER BASE
BLDG. BUILDING	FW. FULL WIDTH	R.D. ROOF DRAIN
BLK. BLOCK	F.V. FIELD VERIFY	REF. REFERENCE
BLKG. BLOCKING	GA. GAUGE	REFR. REFRIGERATOR
BM. BEAM	GAL. GALLON	REIN. REINFORCED, REINFORCING
B.O. BOTTOM OF	GALV. GALVANIZED	REQ. REQUIRED
BOT. BOTTOM	G.C. GENERAL CONTRACTOR	RESIL. RESILIENT
BSMT. BASEMENT	G.L.B. GLUE LAM BEAM	REV. REVISION; REVISED
BRG. BEARING	GR. GRADE	RGTR. REGISTER
BUR. BUILT UP ROOFING	G.R. GUARD RAIL	RH. ROUND-HEAD; RIGHT HAND
CAB. CABINET	G.S.B. GYPSUM SHEATHING BOARD	RM. ROOM
C.B. CATCH BASIN	G.W.B. GYPSUM WALL BOARD	R.O. ROUGH OPENING
CB. CHALK BOARD	GYP. GYPSUM	R.W.L. RAIN WATER LEADER
CC. CENTER TO CENTER	H.B. HOSE BIBB	S. SOUTH
CEM. CEMENT	H.C. HOLLOW CORE	S.B.C. SEATTLE BUILDING CODE
CER. CERAMIC	H.D. GALV. HOT DIPPED GALVANIZED	S.CONC. SCOURED CONCRETE
CG. CORNER GUARD	HDR. HEADER	SAF. SELF ADHERED FLASHING
C.I. CAST IRON	HDO. HIGH DENSITY OVERLAY	SC. SOLID CORE
C.I.P. CAST IN PLACE	HDWD. HARDWOOD	SC.ALUM. SOLID CORNER ALUMINUM
CJ. CONTROL JOINT	HDWE. HARDWARE	SCHED. SCHEDULE
CLG. CEILING	HEM. HEMLOCK	S.D. SMOKE DETECTOR
CLKG. CAULKING	H.M. HOLLOW METAL	SEC. SEALED CONCRETE
CLO. CLOSET	H.M.H. HORIZONTAL	SECT. SECTION
CLR. CLEAR	HP. HIGH POINT	S.G. SAFETY GLASS
C.M.U. CONCRETE MASONRY UNIT	HR. HOUR	SH;SHLF. SHELF
CNTR. COUNTER	HT. HEIGHT	SHR. SHOWER
COL. COLUMN	HVAC. HEATING/VENTILATION/AIR CONDITIONING	SHT. SHEET
CONC. CONCRETE	HW. HOT WATER	SHEATH. SHEATHING
CONN. CONNECTION	H.W.H. HOT WATER HEATER	SIM. SIMILAR
CONST. CONSTRUCTION	I.B.C. INTERNATIONAL BUILDING CODE	SMS. SHEET METAL
CONT. CONTINUOUS	I.D. INSIDE DIAMETER	S.O.G. SHEET METAL SCREW
CONTR. CONTRACTOR	IN. INCH	SLAB ON GRADE
CORR. CORRIDOR	INCL. INCLUDED; INCLUDING	SPEC. SPECIFICATION
C.P. CONCRETE PAVEMENT	INSUL. INSULATION	S.P.M. SINGLE-PLY MEMBRANE
CPT. CARPET	INT. INTERIOR	SQ. SQUARE
CPT SQRS. CARPET SQUARES	INV. INVERT	SQ.FT. SQUARE FEET
CRS. COURSE; COURSES	JAN. JANITOR	SQ.IN. SQUARE INCH (ES)
C.S. CRAWL SPACE	J.B. JUNCTION BOX	SS. STAINLESS STEEL
CTSJK. COUNTERSINK	JT. JOINT	ST. STONE
C.T. CERAMIC TILE	KIT. KITCHEN	STA. STATION
CTR. CENTER	K.O. KNOCK-OUT	STD. STANDARD
CU.FT. CUBIC FEET	LAM. LAMINATE	STL. STEEL
C.V.G. CLEAR VERTICAL GRAIN	LAV. LAVATORY	STOR. STORAGE
C.W.C. CHILLED WATER CABINET	L.F. LINEAL FEET	STRUCT. STRUCTURAL
	LL. LIVE LOAD	SUSP. SUSPENDED
	LP. LOW POINT	SYM. SYMMETRICAL
	LOC. LOCATION	T.; TRD. TREADS
	LT. LIGHT	TB. TACK BOARD
		T.B. TOWEL BAR
		T.C. TOP OF CURB
		TEMP. TEMPERED
		T.G. TEMPERED GLASS
		T.&G. TONGUE AND GROOVE
		T.O.P. TOP OF
		T.O.S. TOP OF SLAB; TOP OF STEEL
		T.O.W. TOP OF WALL
		TEL. TELEPHONE
		T.P.H. TOILET PAPER HOLDER
		T.S. TUBULAR STEEL
		TYP. TYPICAL
		U.N.O. UNLESS NOTED OTHERWISE
		U.SK. UTILITY SINK
		V.B. VAPOR BARRIER
		W.C. WATER CLOSET
		WD. WOOD
		W/ WITH
		W/O WITHOUT
		WP. WATERPROOF OR
		WATERPROOFING
		WR WATER RESISTANT
		WSCT. WAINSCOT

## SYMBOLS LEGEND



## GENERAL CONDITIONS

- DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICT EXISTS.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT, BLOCKING, BACKING AND JACKS REQUIRED FOR INSTALLATION.
- VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND SLEEVING: CAP, MARK, AND PROTECT AS NECESSARY TO COMPLETE THE WORK.
- ALL WOOD IN CONTACT WITH CONCRETE IS PRESSURE TREATED.
- PROVIDE AS-BUILT PLAN OF ALL UTILITY LOCATIONS.
- SERVICE WATER PIPES IN UNHEATED SPACES TO BE INSULATED.

## APPLICABLE CODES

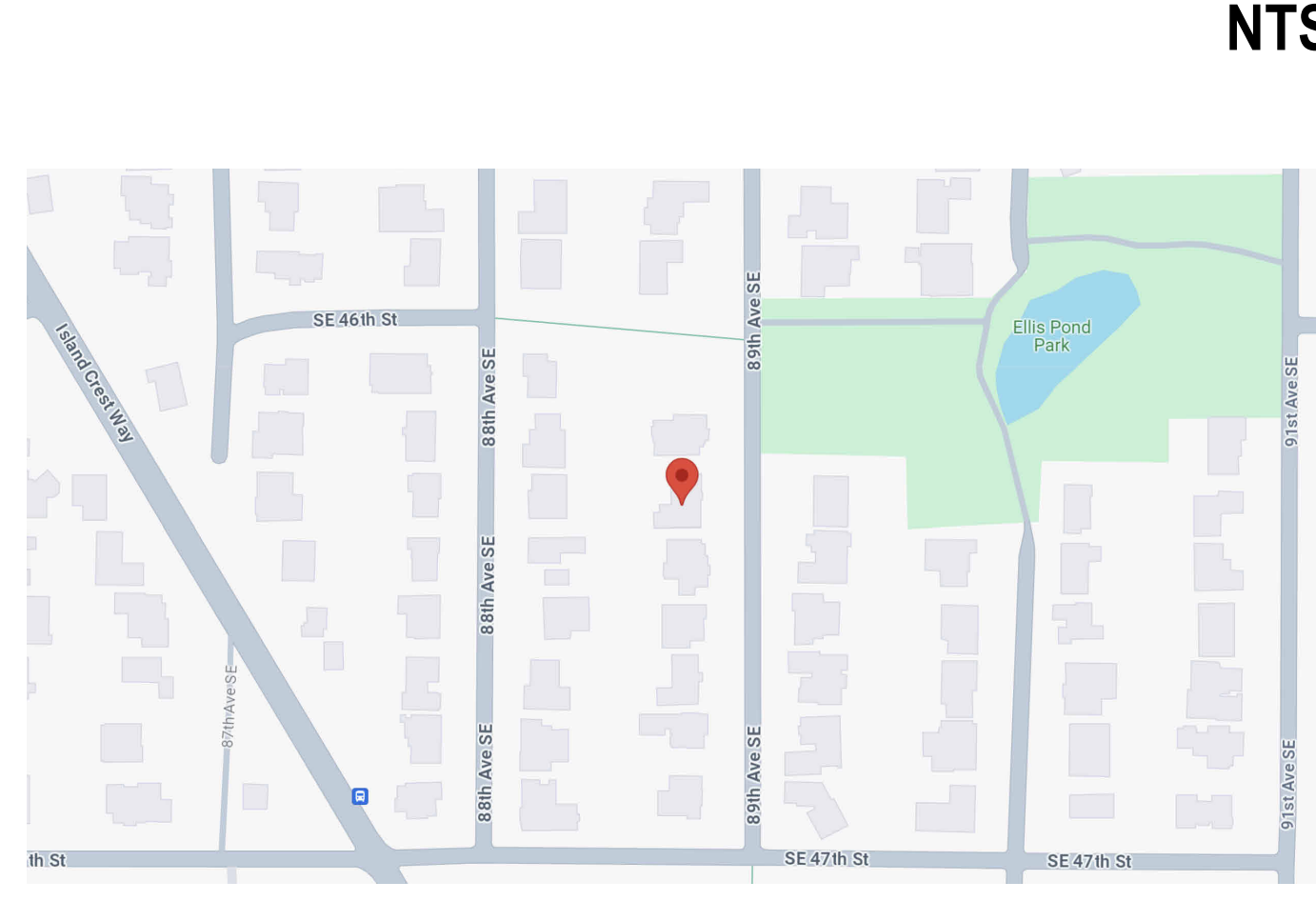
ALL WORK SHALL CONFORM TO:

- 2021 INTERNATIONAL BUILDING CODE (IBC)
- 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2021 INTERNATIONAL MECHANICAL CODE (IMC)
- 2021 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2021 UNIFORM PLUMBING CODE (UPC)
- 2021 INTERNATIONAL FIRE CODE (IFC)
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2021 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE
- WASHINGTON STATE ENERGY CODE (WSEC)
- WASHINGTON CITIES ELECTRICAL CODE (WCEC)
- ICC/ANSI A117.1-17, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND CITY AMENDMENTS

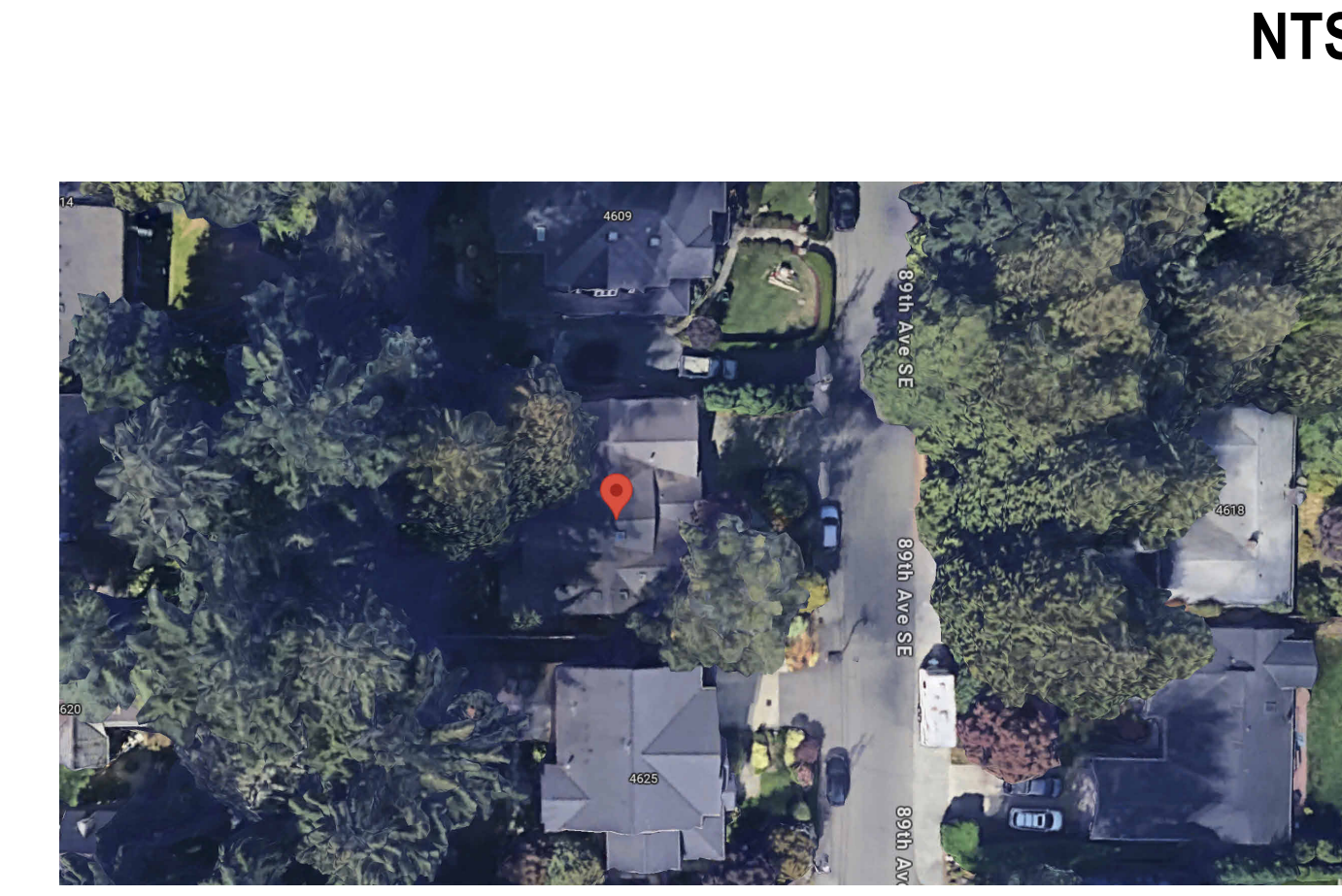
ALL CODES, AS MODIFIED BY LOCAL JURISDICTIONS AND ALL OTHER GOVERNING LAWS, CODES, ORDINANCES AND REGULATIONS

CITY OF MERCER ISLAND ZONING:  
-SINGLE FAMILY R-9.6

## VICINITY MAP



## AERIAL VIEW



## PROJECT DIRECTORY

**OWNER**  
TERRY PEPPE  
LISA PEPPE

**GENERAL CONTRACTOR**  
TSD

**PROJECT ADDRESS**  
4617 89TH AVE SE  
MERCER ISLAND, WA 98040

**LOCAL JURISDICTION**  
CITY OF MERCER ISLAND  
9611 SE 38TH STREET  
MERCER ISLAND, WA 98040  
P. (206) 275-7605  
EMAIL: EPERMITTECH@MERCERISLAND.GOV

**APPLICANT / ARCHITECT**  
SUZANNE ZAHR INC.  
2441 76TH AVE SE, SUITE 160  
MERCER ISLAND, WA 98040  
P. (206) 354-1567  
CONTACT: SUZANNE ZAHR  
EMAIL: INFO@SUZANNEZAHR.COM

**PARCEL NUMBER:** 019110-0655

**LEGAL DISCRPTION:**  
ALL VIEW HEIGHTS ADD LESS S 3 FT  
PLAT BLOCK:  
PLAT LOT:

## DRAWING INDEX

SHEET #	SHEET NAME
A0.0	COVERSHEET
A0.1	GENERAL NOTES
SURVEY	SURVEY
A1.0	SITE PLAN - DEMO
A1.1	SITE PLAN - PROPOSED
A2.1	ACCESSORY STRUCTURE FLOOR PLAN
A4.0	BUILDING ELEVATIONS
A5.0	MANUFACTURER DRAWINGS #1
A5.1	MANUFACTURER DRAWINGS #2

## PROJECT DESCRIPTION

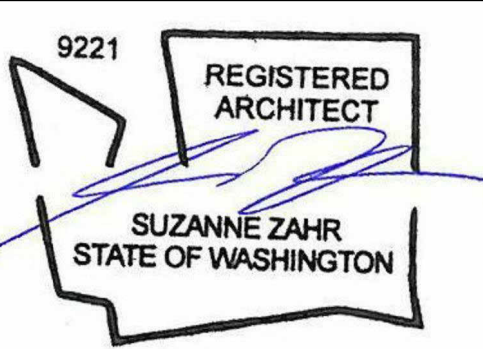
THE SCOPE OF WORK INCLUDES ADDING AN ACCESSORY STRUCTURE TO THE BACKYARD AND REMODELING THE MAIN HOUSE EAVES AND DRIVEWAY.



**SUZANNE ZAHR INC.**  
2441 SE 76TH AVE, SUITE 160  
MERCER ISLAND, WASHINGTON 98040  
T. 206 354 1567  
WWW.SUZANNEZAHR.COM

**PEPPE RESIDENCE  
ACCESSORY STRUCTURE**  
4617 89TH AVE SE  
MERCER ISLAND, WA 98040

**PROJECT NUMBER**  
**23004**



ISSUED / REVISIONS	DATE

ISSUE DATE: 05.14.24  
DRAWN BY: SA  
CHECKED BY: SZ

**COVERSHEET**

**SHEET NUMBER**  
**A0.0**

**PERMIT SET**

**GENERAL NOTES**

- SEE CONSTRUCTION PLAN, POWER AND DATA PLAN, REFLECTED CEILING PLAN AND FINISH PLAN NOTES FOR ADDITIONAL NOTES RELATED TO EACH SPECIFIC PLAN.
- THE INTENT OF THE CONTRACT DOCUMENTS IS TO ALLOW FOR THE PERFORMANCE OF THE WORK. EVERY ITEM NECESSARILY REQUIRED MIGHT NOT BE SPECIFICALLY MENTIONED OR SHOWN. UNLESS EXPRESSLY STATED, ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETED AND APPROPRIATELY OPERABLE. FURNISH AND INSTALL ALL SPECIFIED AND APPROPRIATE ITEMS, AND ALL INCIDENTAL, ACCESSORY, AND OTHER ITEMS NOT SPECIFIED BUT REQUIRED FOR A COMPLETE AND FINISHED PROJECT.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- IT IS INTENDED THAT THE CONTRACTOR PROVIDE COMPLETE CONSTRUCTION AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY SCOPE OF WORK EXCEPT FOR THE ITEMS SPECIFICALLY NOTED.
- SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE NOT TO BE, FOR WHATEVER REASONS, UNENFORCEABLE, SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT NOR SHALL IT VOID ANY OTHER PROVISIONS OF THE CONTRACT.
- THROUGHOUT THE DURATION OF THE PROJECT THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF CLAIMS OF LIEN BY SUBCONTRACTORS, SUPPLIERS OF MATERIALS, LABOR, SERVICE, OR EQUIPMENT OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CAUSE. APPROVAL FOR FINAL PAYMENT SHALL BE CONTINGENT UPON THE CONTRACTOR'S OBTAINING AND FURNISHING TO THE ARCHITECT SIGNED RELEASES FROM SUCH INDIVIDUALS OR COMPANIES.
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM, IN WRITING, TO THE DESIGNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE DESIGNER BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.
- DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATIONS OF CONSTRUCTION ITEMS DENOTED IN THE CONSTRUCTION DOCUMENTS SHALL BE INDICATED BY THE CONTRACTOR. TO SCALE, IN CONTRASTING INK ON THE DRAWINGS FOR ALL KINDS OF MECHANICAL AND ELECTRICAL WORK, INCLUDING SITE UTILITIES AND CONCEALED DEVIATIONS FROM THE DRAWINGS. UPON COMPLETION OF THE PROJECT, INCLUDING DRAWINGS, PROVIDED BY THE ARCHITECT. THIS SET SHALL BE CONSPICUOUSLY MARKED "AS BUILT SET" AND DELIVERED TO THE ARCHITECT.
- UPON COMPLETION OF THE WORK OR SHORTLY BEFORE, THE ARCHITECT SHALL PREPARE A PUNCH-LIST OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER/CONTRACTOR AGREEMENT.
- EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES, MANUFACTURER'S RECOMMENDATIONS AND TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO: IBC, SEISMIC CODES, NEC, NPC, UPC, CBC, MFPA, ASME, UMC, AUI, FIRE AND SAFETY CODES, ADA, STATE TITLE AND ADMINISTRATIVE CODES, AND OTHER APPROPRIATE REGULATORY AUTHORITIES LATEST ENFORCED EDITIONS.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE-SCALE DETAILS SHALL GOVERN OVER SMALL-SCALE DETAILS.
- THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE ARCHITECT ALONE SHALL DETERMINE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR.
- ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS UNLESS NOTED OTHERWISE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS HEREIN - EITHER APPARENT OR OBVIOUS - PRIOR TO THE START OF NEW WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.
- VERIFY LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, ELECTRICAL/TELEPHONE AND COMMUNICATION OUTLETS, LIGHT FIXTURES AND SWITCHES WITH THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS/HER JURISDICTION.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFECTS FOUND IN EXISTING BUILDING CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GYPSUM BOARD OR DAMAGED FIREPROOFING. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT AND ADJOINING SURFACES, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE STRICT CONTROL AND JOB CLEANING TO PREVENT DUST AND DEBRIS FROM EMANATING FROM CONSTRUCTION AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL ACCESS INTO ADJACENT PROPERTY WITH THE PROPERTY OWNERS AS REQUIRED FOR PRICING AND CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING FINISHES REMAINING. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED THEREIN BY THE CONTRACTOR OR SUBCONTRACTORS.
- "TYPICAL" OR "TYP." MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED. VERY DIMENSIONS AND ORIENTATION ON PLAN.
- "VERIFY" OR "VER." MEANS TO ASCERTAIN AND CONFIRM APPLICATION WITH APPROPRIATE PARTY AS NOTED.
- "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.
- THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS/HER BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE CONSTRUCTION DRAWINGS.
- ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ALL COPYRIGHT LAWS AND REVELATIONS PERTAINING TO INTELLECTUAL PROPERTY APPLY, BEFORE, DURING, AND AFTER CONSTRUCTION.
- ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION. ALL SUCH EQUIPMENT SHALL COMPLY WITH LOCAL SOUND ORDINANCES.
- THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE AND COMMUNICATION, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT. (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
- THE GENERAL CONTRACTOR SHALL PROVIDE SUBMITTAL INFORMATION FOR ALL APPLIANCES, FIXTURES, EQUIPMENT, HARDWARE, FINISH MATERIAL AND ANY ADDITIONAL SELECTIONS FOR APPROVAL PRIOR TO ORDERING. SUBMITTAL INFORMATION INCLUDES TECHNICAL INFORMATION, IMAGES OF THE PRODUCT, AND FINISH SAMPLES FOR APPROVAL.

**CONSTRUCTION PLAN NOTES**

- SEE GENERAL NOTES.
- THE CONTRACTOR SHALL PATCH AND REPAIR ALL FIREPROOFING DAMAGE INCURRED DURING DEMOLITION AND/OR CONSTRUCTION. THE CONTRACTOR SHALL FIREPROOF AS REQUIRED BY CODE, ALL NEW PENETRATIONS GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.
- ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON THE CONSTRUCTION PLAN. IN THE CASE OF A CONFLICT NOTIFY THE ARCHITECT. THE CONSTRUCTION PLAN BY THE ARCHITECT SUPERSEDES ALL OTHER PLANS, INCLUDING ALL CONSTRUCTION PLANS.
- UPON COMPLETION OF PARTITION LAYOUT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT. VERIFICATION OF LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHEREVER REQUIRED. ALL SURFACES SHALL BE ALIGNED AND SANDED SMOOTH.
- ALL PARTITIONS ARE DIMENSIONED FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD, U.N.O. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THE THICKNESS OF ALL FINISHES INCLUDING CARPET (AND CUSHION), CERAMIC TILE, VCT AND PLYWOOD UNDERLAYMENT FILE CABINETS.
- CEILING HEIGHT PARTITIONS SHALL BE INSTALLED TIGHT TO FINISHED CEILING WITH NO JOINTS VARYING MORE THAN 1/8 INCH OVER 6'-0" AND NO JOINTS GREATER THAN 3/16 INCH.
- PROVIDE METAL CORNER OR EDGE BEADS AT ALL GWB TERMINATION.
- REFER TO REFLECTED CEILING PLANS FOR GYPSUM BOARD SOFFITS, CEILINGS AND PLENUM BARRIER LOCATIONS.
- FOR DOORS THAT ARE NOT LOCATED BY SPECIFIC PLAN DIMENSIONS, REFER TO TYPICAL DOOR JAMB DIMENSIONS. DOOR OR CASED OPENINGS WITHOUT LOCATION DIMENSIONS ARE TO BE (6) INCHES FROM THE FACE OF THE ADJACENT PARTITION OR CENTERED BETWEEN PARTITIONS.
- TRIM THE BOTTOMS OF DOORS TO CLEAR THE TOP OF FINISHED FLOOR BY 3/8 INCH MAXIMUM, U.N.O.
- DIMENSIONS LOCATING DOORS BY EDGE ARE TO THE INSIDE EDGE OF JAMB, U.N.O.
- ALL GLASS SHALL BE CLEAR GLASS, U.N.O. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.
- ALL MILLWORK ABOVE 4'-0" SHALL BE BOLTED TO PARTITION. THE CONTRACTOR SHALL PROVIDE FIRE TREATED BLOCKING AS REQUIRED.
- INSTALL ALL NEW OR RELOCATED APPLIANCES SPECIFIED AND ALL EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. VERIFY ALL CLEAR OPENING DIMENSIONS IN CABINERY ADEQUATELY ACCOMMODATE THE SPECIFIED OR RELOCATED EQUIPMENT.
- PROVIDE BLOCKING FOR ALL "IN CONTRACT" WALL MOUNTED SHELVES, FIXTURES, AND MILLWORK AND FOR ITEMS SPECIFICALLY NOTED THAT ARE N.I.C.
- DIMENSIONS MARKED "+I" MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION, U.N.O. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT.
- ALL HEIGHTS ARE DIMENSIONED FROM TOP OF FINISH FLOOR, U.N.O.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN.

**POWER & DATA PLAN NOTES**

- SEE GENERAL NOTES.
- SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN. VERIFY LOCATION OF FLOOR OUTLETS AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS AS REQUIRED. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- ARCHITECTURAL DRAWINGS DETERMINE THE LOCATION OF OUTLETS AND SUPERSEDE CONSULTANTS DRAWINGS, UNLESS NOTED OTHERWISE. VERIFY FIELD CONDITIONS.
- ELECTRICAL DESIGN TO BE HANDLED AS DESIGN/BUILD, WHERE APPLICABLE.
- FURNITURE AND EQUIPMENT IS SHOWN FOR COORDINATION OF OUTLETS AND DEVICES ONLY.
- ALL SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED IN A SINGLE COVER PLATE, U.N.O. IF SWITCH DOES NOT ALLOW GANGING, VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION.
- WHERE THERMOSTATS AND LIGHT SWITCHES OCCUR TOGETHER INSTALL BOTH ALIGNED VERTICALLY.
- ALL ELECTRICAL AND COMMUNICATION OUTLETS AND SWITCHES SHALL BE THE SAME COLOR AS THE COVER PLATE, U.N.O. COORDINATE COVER PLATE COLOR WITH THE ARCHITECT PRIOR TO ORDERING OR INSTALLATION.
- STANDARD MOUNTING HEIGHTS:  
ELECTRICAL AND COMMUNICATION OUTLETS +18" A.F.F. TO CENTER OF BOX  
WORK COUNTER OUTLETS AT +44" A.F.F. TO CENTER OF BOX  
WALL MOUNTED TELEPHONES AT +50" A.F.F. TO CENTER OF BOX  
SWITCHES @ +44" A.F.F.
- ALL LIGHT SWITCHES AND OUTLETS TO BE LOCATED 6" FROM THE LATCH SIDE OF THE DOORFRAME, U.N.O.
- SPECIAL OUTLET MOUNTING HEIGHTS ARE NOTED ADJACENT TO THE OUTLET.
- AT ALL VOICE AND DATA LOCATIONS PROVIDE MUD RING AND PULL STRING OR CONDUIT IF REQUIRED BY LOCAL BUILDING OFFICIAL. CABLING PROVIDED BY OTHERS.
- ALL ELECTRICAL, MECHANICAL THERMOSTATS AND LIFE SAFETY DEVICES TO BE LOCATED WITHIN 18" OF THE END OF A WALL OR A DOOR, U.N.O., VERTICALLY ALIGN DEVICES WITH SWITCHES WHERE APPLICABLE.
- OUTLETS SHOWN BACK TO BACK ON PARTITION WALLS SHALL BE OFFSET 1'-0". SEPARATE BACK-TO-BACK OUTLETS 2'-0" MIN. AT ACOUSTICAL PARTITIONS, U.N.O.
- COORDINATE ALL WORK RELATED TO SPECIAL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.
- ALL EXISTING AND NEW FLOOR SLAB PENETRATIONS FOR PIPING AND CONDUIT SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES. COORDINATE FLOOR CORES WITH STRUCTURAL BEAMS AND MECHANICAL SYSTEMS BELOW.
- UPON COMPLETION OF OUTLET LAYOUT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT. THE ARCHITECT SHALL SITE VERIFY ALL OUTLET LOCATIONS PRIOR TO COMMENCEMENT OF CORING OR OUTLET INSTALLATION.
- FURNISH AND INSTALL UNDERWRITERS LABORATORIES, INC. (UL) LABELED DEVICES THROUGHOUT.
- MAINTAIN 4 INCH HORIZONTAL CLEARANCE IN BOTH DIRECTION MINIMUM FROM EDGE OF COVER PLATE, AND THE LIKE, FOR WALL MOUNTED OUTLETS, OR MOUNTMENT FOR FLOOR MOUNTED OUTLETS, AND THE LIKE, ADJACENT TO A WALL, COLUMN OR SIMILAR ELEMENTS, U.N.O.
- INDICATED DIMENSIONS ARE TO THE CENTER OF THE COVER PLATE OF MOUNTMENT. CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, U.N.O. GANGED COVER PLATES SHALL BE ONE-PIECE TYPE, U.N.O.
- WALL OUTLETS NOT DIMENSIONED AND SHOWN NEAR THE CORNER SHALL BE INSTALLED 8" FROM THE CORNER. WALL OUTLETS SHOWN NEAR THE CENTER OF A PARTITION SHALL BE INSTALLED ON THE CLOSEST STUD NEAREST THE CENTER, U.N.O.

**REFLECTED CEILING PLAN NOTES**

- SEE GENERAL NOTES.
- THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO INSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC. MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON THE ARCHITECT'S DRAWINGS.
- REFER TO DESIGN DRAWINGS AND SPECIFICATIONS FOR LOCATION ONLY. MECHANICAL AND ELECTRICAL TO BE HANDLED AS "DESIGN/BUILD", WHERE APPLICABLE.
- PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RATED ELEMENTS AS REQUIRED BY THE GOVERNING AUTHORITY.
- PERIMETER CEILING ANGLE, WHERE OCCURS, SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH, U.N.O.
- THE ELECTRICAL SUBCONTRACTOR SHALL FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM AND FIXTURE LAMPS AS SPECIFIED, U.N.O.
- ALL SWITCHES, OUTLETS, THERMOSTATS OR ANY OTHER ELECTRICAL ITEMS SHOWN ON PLAN SIDE BY SIDE BUT CALLED OUT AT DIFFERENT HEIGHTS SHOULD BE STACKED VERTICALLY.
- ALL SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED IN A SINGLE COVER PLATE, U.N.O. IF SWITCH DOES NOT ALLOW GANGING, VERIFY LOCATION WITH THE DESIGNER PRIOR TO INSTALLATION.
- WHERE THERMOSTATS AND LIGHT SWITCHES OCCUR TOGETHER INSTALL BOTH ALIGNED VERTICALLY.
- ACCESS PANEL TYPE AND LOCATION SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO COMMENCING WORK.
- ALL ELECTRICAL AND MECHANICAL THERMOSTATS, AND LIFE SAFETY DEVICES TO BE LOCATED WITHIN 18" OF THE END OF A WALL OR A DOOR, U.N.O. VERTICALLY ALIGN DEVICES WITH SWITCHES WHERE APPLICABLE.
- ALL SWITCHES AND DIMMERS SHALL BE LOCATED 48" ABOVE FINISHED FLOOR TO CENTER OF SWITCH, U.N.O. MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND FINISHED WITH TONE COVER PLATE, U.N.O.
- THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING TYPES, CEILING FIXTURES AND ASSOCIATED ITEMS.
- ALL SPECIFIC INFORMATION CONCERNING INSTALLATION OF VARIOUS ABOVE CEILING ELEMENTS ARE TO BE FOUND IN THE HVAC, PLUMBING, AND FIRE PROTECTION, ELECTRICAL AND LIGHTING DRAWINGS, AND SPECIFICATIONS.
- CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATION WITH MAIN RUNNER, DUCTS, STRUCTURAL, HVAC (E) CONDUIT PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN THE ARCHITECT'S RCP AND ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT'S PRIOR TO INSTALLATION.
- SUBMIT GRILLE, THERMOSTAT AND OTHER FIXTURES AND ELEMENT LAYOUT TO THE ARCHITECT FOR REVIEW AT LEAST 2 WEEKS PRIOR TO INSTALLATION.
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL DUCTS, STRUCTURAL ELEMENTS AND ANY AND ALL OTHER APPLICABLE ITEMS. INSTALL APPLICABLE NEW PLUMBING, MECHANICAL, FANS, DUCTS, CONDUITS AND OTHER RELATED AND PERTINENT ITEMS SO AS TO NOT CONFLICT WITH LUMINARIES AND ANY AND ALL FIELD CONDITIONS.
- FURNISH AND INSTALL UNDERWRITERS LABORATORIES, INC. (UL) LABELED DEVICES THROUGHOUT.
- INSTALL LIGHT FIXTURES WITH PROTECTIVE MYLAR OR SIMILAR COVER OVER LOUVER LENS, BAFFLE, AND THE LIKE, TO AVOID FIXTURE SOILING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. LAMPS SHALL BE NEW AT PROJECT COMPLETION.

**ELECTRICAL PLAN NOTES**

- SEE GENERAL NOTES.
- SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN. VERIFY LOCATION OF FLOOR OUTLETS AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS AS REQUIRED. NOTIFY THE DESIGNER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- DESIGNER'S DRAWINGS DETERMINE THE LOCATION OF OUTLETS AND SUPERSEDE CONSULTANTS DRAWINGS, UNLESS NOTED OTHERWISE. VERIFY FIELD CONDITIONS.
- ELECTRICAL DESIGN TO BE HANDLED AS DESIGN/BUILD.
- FURNITURE AND EQUIPMENT IS SHOWN FOR COORDINATION OF OUTLETS AND DEVICES ONLY.
- ALL SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED IN A SINGLE COVER PLATE, U.N.O. IF SWITCH DOES NOT ALLOW GANGING, VERIFY LOCATION WITH THE DESIGNER PRIOR TO INSTALLATION.
- WHERE THERMOSTATS AND LIGHT SWITCHES OCCUR TOGETHER, INSTALL BOTH ALIGNED VERTICALLY.
- ALL ELECTRICAL AND COMMUNICATION OUTLETS AND SWITCHES SHALL BE THE SAME COLOR AS THE COVER PLATE, U.N.O. COORDINATE COVER PLATE COLOR WITH THE DESIGNER PRIOR TO ORDERING OR INSTALLATION.
- STANDARD MOUNTING HEIGHTS:  
A. ELECTRICAL AND COMMUNICATION OUTLETS @ 18" A.F.F. TO CENTER OF BOX.  
B. WALL-MOUNTED TELEPHONES @ 50" A.F.F. TO CENTER OF BOX.  
C. SWITCHES @ 44" A.F.F.
- ALL LIGHT SWITCHES AND OUTLETS TO BE LOCATED 8" FROM THE LATCH SIDE OF THE DOOR FRAME, U.N.O.
- SPECIAL OUTLET MOUNTING HEIGHTS ARE NOTED ADJACENT TO THE OUTLET.
- AT ALL VOICE AND DATA LOCATIONS PROVIDE MUD RING AND PULL STRING OR CONDUIT IF REQUIRED BY LOCAL BUILDING OFFICIAL. CABLING PROVIDED BY OTHERS.
- ALL ELECTRICAL, MECHANICAL THERMOSTATS AND LIFE SAFETY DEVICES TO BE LOCATED WITHIN 18" OF THE END OF A WALL OR A DOOR, VERTICALLY ALIGN DEVICES WITH SWITCHES WHERE APPLICABLE.
- OUTLETS SHOWN BACK-TO-BACK ON PARTITION WALLS SHALL BE OFFSET 1'-0". SEPARATE BACK-TO-BACK OUTLETS 2'-0" MIN. AT ACOUSTICAL PARTITIONS, U.N.O.
- COORDINATE ALL WORK RELATED TO SPECIAL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.
- ALL EXISTING AND NEW FLOOR SLAB PENETRATIONS FOR PIPING AND CONDUIT SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES. COORDINATE FLOOR CORES WITH STRUCTURAL BEAMS AND MECHANICAL SYSTEMS BELOW.
- UPON COMPLETION OF OUTLET LAYOUT, THE CONTRACTOR SHALL NOTIFY THE DESIGNER. THE DESIGNER SHALL SITE VERIFY ALL OUTLET LOCATIONS PRIOR TO COMMENCEMENT OF CORING OR OUTLET INSTALLATION.
- FURNISH AND INSTALL UNDERWRITERS LABORATORIES, INC. (UL) LABELED DEVICES THROUGHOUT.
- MAINTAIN 4 INCH HORIZONTAL CLEARANCE IN BOTH DIRECTION MINIMUM FROM EDGE OF COVER PLATE, AND THE LIKE, FOR WALL-MOUNTED OUTLETS OR MOUNTMENT FOR FLOOR MOUNTED OUTLETS, AND THE LIKE, ADJACENT TO A WALL, COLUMN OR SIMILAR ELEMENTS, U.N.O.
- INDICATED DIMENSIONS ARE TO THE CENTER OF THE COVER PLATE OF MOUNTMENT. CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, U.N.O. GANGED COVER PLATES SHALL BE ONE PIECE TYPE, U.N.O.
- WALL OUTLETS NOT DIMENSIONED AND SHOWN NEAR THE CORNER SHALL BE INSTALLED 8" FROM THE CORNER. WALL OUTLETS SHOWN NEAR THE CENTER OF A PARTITION SHALL BE INSTALLED ON THE STUD NEAREST THE CENTER, U.N.O.
- SEE R404.1 - Provide a note on the drawing.  
"A minimum of 75 percent of permanently installed lamps in lighting fixtures shall be high-efficacy lamps."

**FINISH PLAN NOTES**

- SEE GENERAL NOTES.
- PAINTING - NO PAINTING OR INTERIOR FINISHING SHALL BE DONE UNDER CONDITIONS, WHICH WILL JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK. ALL WORKMANSHIP, WHICH IS JUDGED LESS THAN FIRST QUALITY BY THE ARCHITECT, WILL BE REJECTED.  
A. ALL COLORS ARE TO BE SELECTED OR APPROVED BY THE ARCHITECT.  
B. ALL NEW AND EXISTING SURFACES SHALL BE PREPARED TO RECEIVE THE SPECIFIED FINISH.  
C. PAINT GRADE WOODWORK SHALL BE HAND SANDED AND DUSTED CLEAN. ALL KNOT HOLES, PITCH POCKETS OR SAPPY PORTIONS SHALL BE SCRAPPED AND SEALED. FILL NAIL HOLES.  
CRACKS OR DEFECTS CAREFULLY WITH MATCHING PUTTY. INTERIOR PAINT GRADE WOODWORK FINISHES SHALL BE SANDED BETWEEN COATS.  
D. INTERIOR GYPSUM WALLBOARD SURFACES SHALL BE WIPED WITH A DAMP CLOTH JUST PRIOR TO APPLICATION OF THE FIRST COAT, IN ORDER TO LAY FLAT ANY NAP, WHICH MAY HAVE FORMED, IN THE SANDING PROCESS.  
E. ALL EXISTING FERROUS METAL SHALL BE LIGHTING SANDED TO PREPARE A SMOOTH SURFACE.  
F. ALL EXISTING GWB SHALL BE PREPPED AND PATCHED TO MATCH ADJACENT SURFACE.  
G. THE CONTRACTOR SHALL, UPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPLATTERED ON EXPOSED ADJACENT SURFACES.  
H. PROTECT ALL SURFACES NOT TO RECEIVE PAINT FROM ALL DRIPS, SPLATTERS AND SPILLS. IMMEDIATELY CLEAN ANY SPILL TO AVOID DAMAGING THE EXISTING SURFACE.  
I. ALL VENEER STAINS SHALL HAVE UNIFORM COLOR.  
J. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A MINIMUM OF (2) 8" X 10" BRUSH-OUTS OF EACH COLOR AND FINISH FOR THE ARCHITECT'S APPROVAL AT LEAST TWO WEEKS PRIOR TO SITE APPLICATION. A WALL TEST WILL BE REQUIRED ONE WEEK PRIOR TO FINAL APPROVAL. THE ARCHITECT RESERVES THE RIGHT TO ADJUST ANY COLOR ONCE THE WALL TEST HAS BEEN MADE.

- ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC., SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALLCOVERINGS AND CARPET. REMOVE ALL EXISTING SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, GRILLS, SIGNAGE, ETC PRIOR TO PAINTING. REINSTALL WHEN PAINTING IS COMPLETE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWING FOR DELIVERY LEAD TIMES FOR ALL FINISHES WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED, AND ANY EXCESSIVE LENGTH MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY TO ALLOW FOR RE-SPECIFICATION IF NEEDED.
- THE CONTRACTOR SHALL MODIFY EXISTING FLOOR SURFACES AS REQUIRED TO INSTALL NEW FLOORING MATERIALS THUS PREVENTING NOTICEABLE LUMPS, OR DEPRESSIONS, WHICH MAY CAUSE UNUSUAL WEAR TO NEW MATERIALS.
- SEE FINISH PLAN, INTERIOR ELEVATIONS AND DETAILS FOR CLARIFICATION OF EXTENT OF FINISH.
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A CARPET SEAMING DIAGRAM AT LEAST 2 WEEKS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT FOR COLOR FINISH OF ALL WALL-MOUNTED DEVICES ON ACCENT COLORED WALLS SUCH THAT DEVICES SHALL MATCH THE COLOR OF THE WALL (SWITCHES, OUTLETS, STROBES, ETC.), UNLESS FINISH IS GOVERNED BY CODE.

**PAIN'T SCHEDULE FOR INTERIOR SURFACES**

**BENJAMIN MOORE OR EQUAL.  
REFER TO FINISH PLAN FOR COLOR SELECTIONS.**

- GYPSUM WALLBOARD: WALLS AND CEILINGS.  
A. LATEX, EGGSHELL. CLEAN AND ROLL ON THREE-COAT SYSTEM.  
1. BOTTOM COAT: BENJAMIN MOORE, PRISTINE ECO SPEC PRIMER  
2. INTERMEDIATE COAT: BENJAMIN MOORE, PRISTINE ECO SPEC  
3. TOP COAT: BENJAMIN MOORE, PRISTINE ECO SPEC
- FERROUS METAL: HOLLOW METAL DOORS AND FRAMES, HANDRAILS, EXPOSED MISCELLANEOUS METALS.  
A. ACRYLIC SEMIGLOSS. SAND EXISTING METAL AND BRUSH ON THREE-COAT SYSTEM.  
1. BOTTOM COAT: BENJAMIN MOORE, PRISTINE ECO SPEC PRIMER  
2. INTERMEDIATE COAT: BENJAMIN MOORE, PRISTINE ECO SPEC  
3. TOP COAT: BENJAMIN MOORE, PRISTINE ECO SPEC
- WOOD: WOOD TRIM, WOOD DOORS AND FRAMES.  
A. ACRYLIC SEMIGLOSS. SAND EXISTING WOOD AND BRUSH ON THREE-COAT SYSTEM.  
1. BOTTOM COAT: BENJAMIN MOORE, PRISTINE ECO SPEC PRIMER  
2. INTERMEDIATE COAT: BENJAMIN MOORE, PRISTINE ECO SPEC  
3. TOP COAT: BENJAMIN MOORE, PRISTINE ECO SPEC

**GENERAL LIGHTING NOTES**

- THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO INSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC. MAINTAIN FINISHED CEILING HEIGHTS INDICATED ON THE ARCHITECT/DESIGNER'S DRAWINGS.
- REFER TO DESIGN DRAWINGS AND SPECIFICATIONS FOR LOCATION ONLY. MECHANICAL AND ELECTRICAL TO BE HANDLED AS "DESIGN/BUILD."
- PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE-RATED ELEMENTS AS REQUIRED BY THE GOVERNING AUTHORITY.
- PERIMETER CEILING ANGLE WHERE OCCURS SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH.
- THE ELECTRICAL SUBCONTRACTOR SHALL FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM AND FIXTURE LAMPS AS SPECIFIED.
- ALL SWITCHES, OUTLETS, THERMOSTATS OR ANY OTHER ELECTRICAL ITEMS SHOWN ON PLAN SIDE BY SIDE BUT CALLED OUT AT DIFFERENT HEIGHTS SHOULD BE STACKED VERTICALLY.
- ALL SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED IN A SINGLE COVER PLATE, U.N.O. IF SWITCH DOES NOT ALLOW GANGING, VERIFY LOCATION WITH THE ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- WHERE THERMOSTATS AND LIGHT SWITCHES OCCUR TOGETHER, INSTALL BOTH ALIGNED VERTICALLY.
- ACCESS PANEL TYPE AND LOCATION SHALL BE SUBMITTED TO THE ARCHITECT/DESIGNER FOR APPROVAL PRIOR TO COMMENCING WORK.
- ALL ELECTRICAL AND MECHANICAL THERMOSTATS AND LIFE SAFETY DEVICES TO BE LOCATED WITHIN 18 INCHES OF THE END OF A WALL OR A DOOR. VERTICALLY ALIGN DEVICES WITH SWITCHES WHERE APPLICABLE.
- ALL SWITCHES AND DIMMERS SHALL BE LOCATED 48 INCHES ABOVE FINISHED FLOOR TO CENTER OF SWITCH, U.N.O. MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND FINISHED WITH ONE TONE COVER PLATE, U.N.O.
- THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING TYPES, CEILING FIXTURES AND ASSOCIATED ITEMS.
- ALL SPECIFIC INFORMATION CONCERNING INSTALLATION OF VARIOUS ABOVE CEILING ELEMENTS ARE TO BE FOUND IN THE HVAC, PLUMBING AND FIRE PROTECTION, ELECTRICAL AND LIGHTING DRAWINGS.
- CONTRACTOR TO NOTIFY ARCHITECT/DESIGNER OF ANY CONFLICTS OF LIGHT FIXTURE LOCATION WITH MAIN RUNNER, DUCTS, STRUCTURAL, HVAC (E) CONDUIT PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN THE ARCHITECT/DESIGNERS RCP AND ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE DESIGNER PRIOR TO INSTALLATION.
- SUBMIT GRILLE, THERMOSTAT AND OTHER FIXTURES AND ELEMENT LAYOUT TO THE ARCHITECT/DESIGNER FOR REVIEW AT LEAST 2 WEEKS PRIOR TO INSTALLATION.
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL DUCTS, STRUCTURAL ELEMENTS AND ANY AND ALL OTHER APPLICABLE ITEMS. INSTALL APPLICABLE NEW PLUMBING, MECHANICAL, FANS, DUCTS, CONDUITS AND OTHER RELATED AND APPURTENANT ITEMS SO AS TO NOT CONFLICT WITH LUMINARIES AND ANY AND ALL FIELD CONDITIONS.
- FURNISH AND INSTALL UNDERWRITERS LABORATORIES, INC. (UL) LABELED DEVICES THROUGHOUT.
- INSTALL LIGHT FIXTURES WITH PROTECTIVE MYLAR OR SIMILAR COVER OVER LOUVER LENS, BAFFLE, AND THE LIKE, TO AVOID FIXTURE SOILING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. LAMPS SHALL BE NEW AT PROJECT COMPLETION.



**SUZANNE ZAHR INC.**

2441 SE 76TH AVE, SUITE 160  
MERCER ISLAND, WASHINGTON 98040  
T. 206 354 1567  
WWW.SUZANNEZAHR.COM

**PEOPLE RESIDENCE  
ACCESSORY STRUCTURE**

**4617 89TH AVE SE  
MERCER ISLAND, WA 98040**

**PROJECT NUMBER**

**23004**

9221

REGISTERED  
ARCHITECT

SUZANNE ZAHR  
STATE OF WASHINGTON

**ISSUED / REVISIONS      DATE**

ISSUED / REVISIONS	DATE

**ISSUE DATE:                      05.14.24**

**DRAWN BY:                              SZ**

**CHECKED BY:                            SZ**

**GENERAL NOTES**

**SHEET NUMBER**

**A0.1**

**PERMIT SET**

# TOPOGRAPHIC & BOUNDARY SURVEY

We are the measure | terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY  
PARCEL NO. 0191100655

PEOPLE RESIDENCE  
4617 89TH AVE SE  
MERCER ISLAND, WA 98040



# TERRANE

10801 Main Street, Suite 102  
Bellevue, WA 98004  
p: 425-458-4488 | e: info@terrane.net

JOB NUMBER:	231600
DATE:	10/27/23
SCALE:	1" = 10'
REVISION HISTORY	
11/13/23	N. OFFSITE ADD.
SHEET NUMBER	
1 OF 1	

## LEGAL DESCRIPTION

(PER QUIT CLAIM DEED RECORDING# 9210150211)  
LOT 3, BLOCK 3, ALLVIEW HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 20, IN KING COUNTY, WASHINGTON; EXCEPT THE SOUTH 3 FEET THEREOF.

## BASIS OF BEARINGS

ACCEPTED A BEARING OF N 01°02'28" E BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF 88TH AVENUE SE, CALCULATED USING NAD 83(2011) WASHINGTON STATE PLANE COORDINATES PER GPS OBSERVATIONS.

## REFERENCES

- R1. ALLVIEW HEIGHTS ADDITION TO SEATTLE, VOL. 16 OF PLATS, PG. 20, RECORDS OF KING COUNTY, WASHINGTON.
- R2. RECORD OF SURVEY, VOL. 165, PG. 162, RECORDS OF KING COUNTY, WASHINGTON.

## VERTICAL DATUM

NAVD 88 PER GPS OBSERVATIONS  
SITE TEMP. BENCHMARK  
DESCRIPTION: PK NAIL W/ RED WASHER  
LOCATION: 39.1'E & 24.0'N OF THE SE PROP. COR.  
ELEVATION: 355.36'

## SURVEYOR'S NOTES

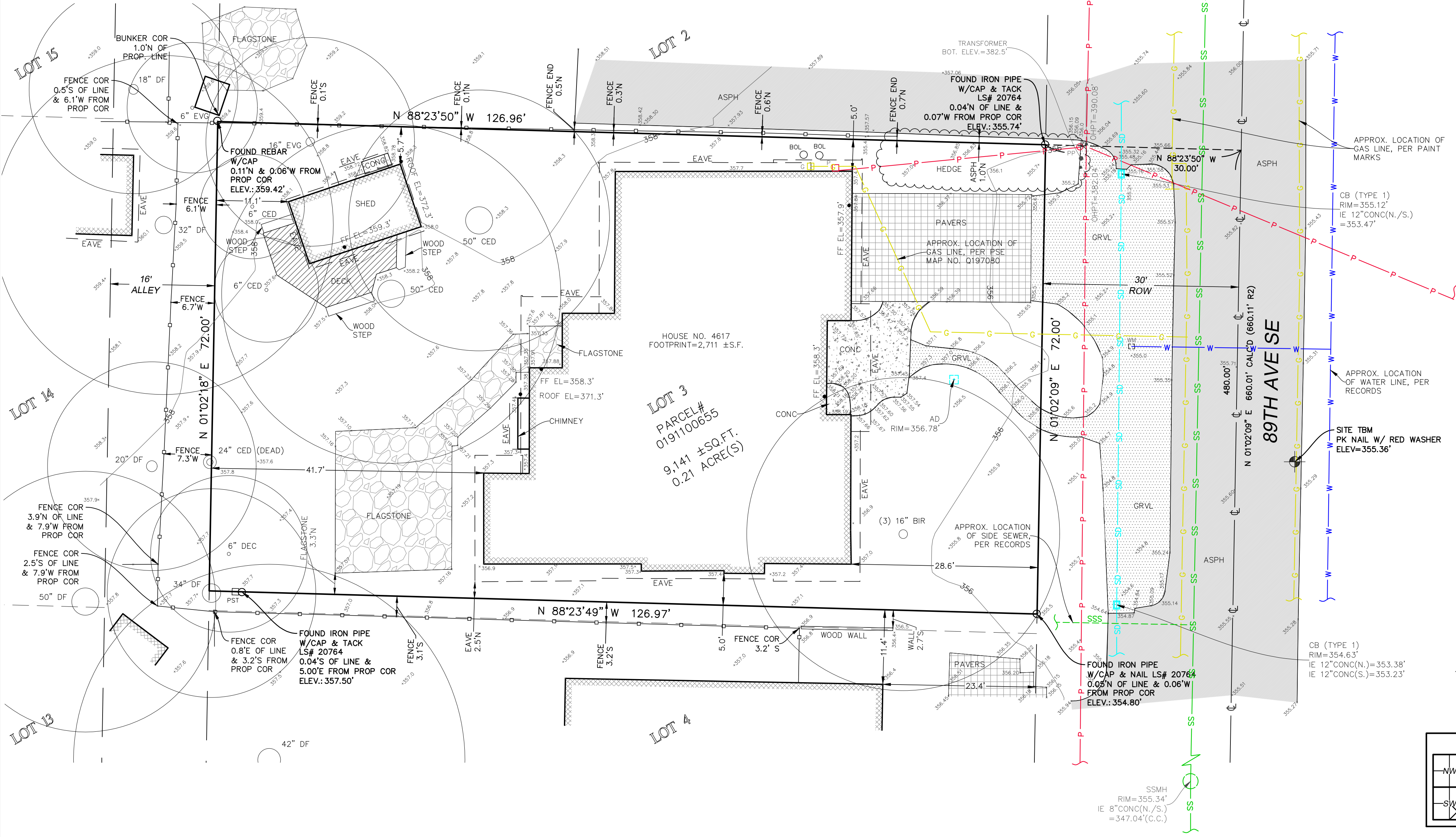
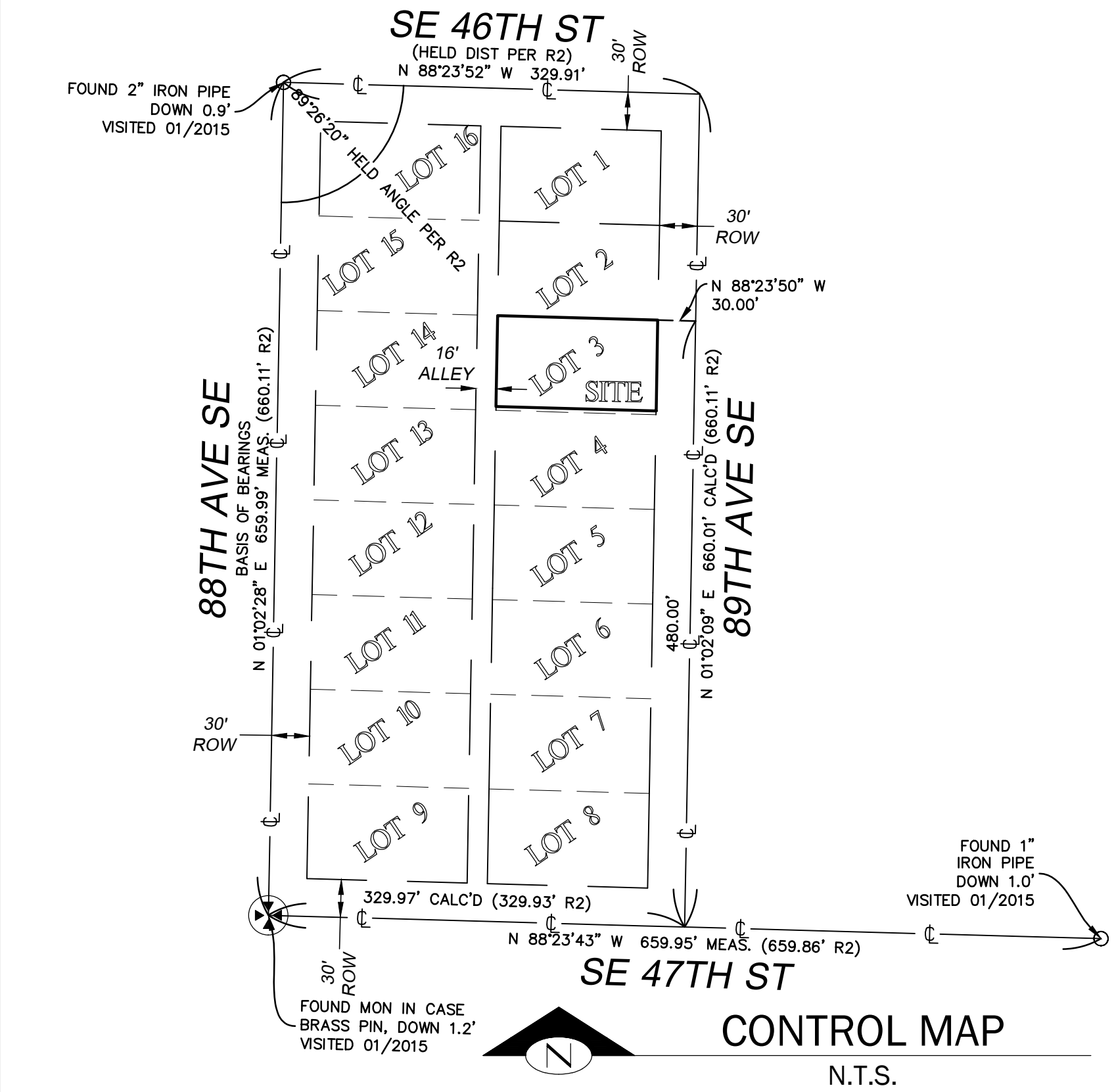
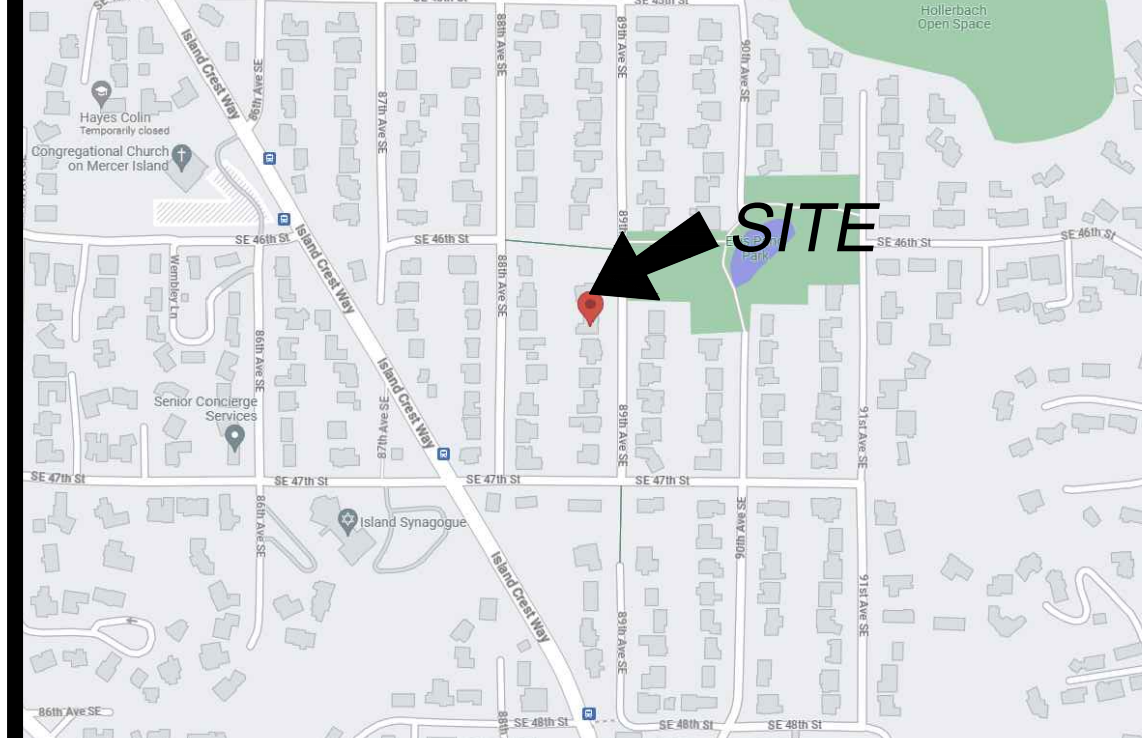
- THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN OCTOBER OF 2023. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
- THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
- SUBJECT PROPERTY TAX PARCEL NO. 019110-0655
- SUBJECT PROPERTY AREA PER THIS SURVEY IS 9,141 ± S.F. (0.21 ACRES)
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
- EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
- FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

## LEGEND

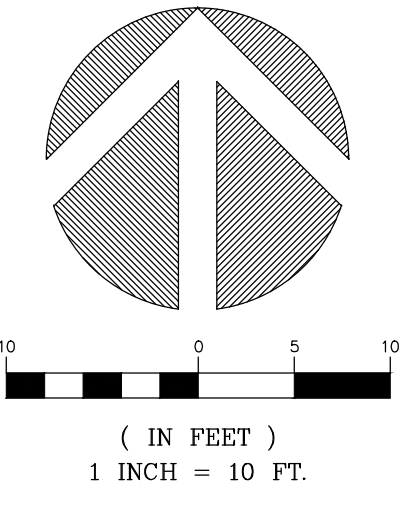
- AREA DRAIN
- ASPHALT SURFACE
- BENCHMARK
- BOLLARD
- BUILDING
- CENTERLINE ROW
- CONCRETE SURFACE
- DECK
- FENCE LINE (STEEL)
- FENCE LINE (WOOD)
- FLAGSTONE SURFACE
- GAS LINE
- GAS METER
- GRAVEL SURFACE
- HEDGE FOLIAGE LINE
- INLET (TYPE 1)
- IRON PIPE (FOUND)
- MONUMENT (IN CASE, FOUND)
- OHP TRANSMISSION ELEVATION
- PAVER SURFACE
- POST
- POWER METER
- POWER (OVERHEAD)
- POWER POLE
- SEWER LINE
- SEWER MANHOLE
- STORM DRAIN LINE
- TREE (AS NOTED)
- WATER LINE
- WATER METER

## VICINITY MAP

N.T.S.



**STEEP SLOPE/BUFFER DISCLAIMER:**  
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS, AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



INDEXING INFORMATION	
SE 1/4 SW 1/4	
SECTION: 18	
TOWNSHIP: 24N	
RANGE: 05E, W.M.	
COUNTY: KING	

**ZONE:**  
R-9.6  
THE NET LOT AREA SHALL BE AT LEAST 9,600 SQUARE FEET. LOT WIDTH SHALL BE AT LEAST 75 FEET AND LOT DEPTH SHALL BE AT LEAST 80 FEET.

**LOT AREA:**  
9,141 SF

**LOT WIDTH:**  
72'  
LOT WIDTH SHALL BE AT LEAST 75 FEET AND LOT DEPTH SHALL BE AT LEAST 80 FEET.  
(A) FOR LOTS WITH A LOT WIDTH OF 90 FEET OR LESS, THE SUM OF THE SIDE YARDS' WIDTH SHALL BE AT LEAST 15 FEET.

THE MINIMUM SIDE YARD WIDTH IS FIVE FEET.

**LOT SLOPE:**  
HIGHEST ELEVATION POINT OF LOT: 359.2'  
LOWEST ELEVATION POINT OF LOT: 354.8'  
ELEVATION DIFFERENCE: 4.4'  
SHORTEST HORIZONTAL DISTANCE BETWEEN THESE TWO POINTS: 146' 7"  
LOT SLOPE: 3 %

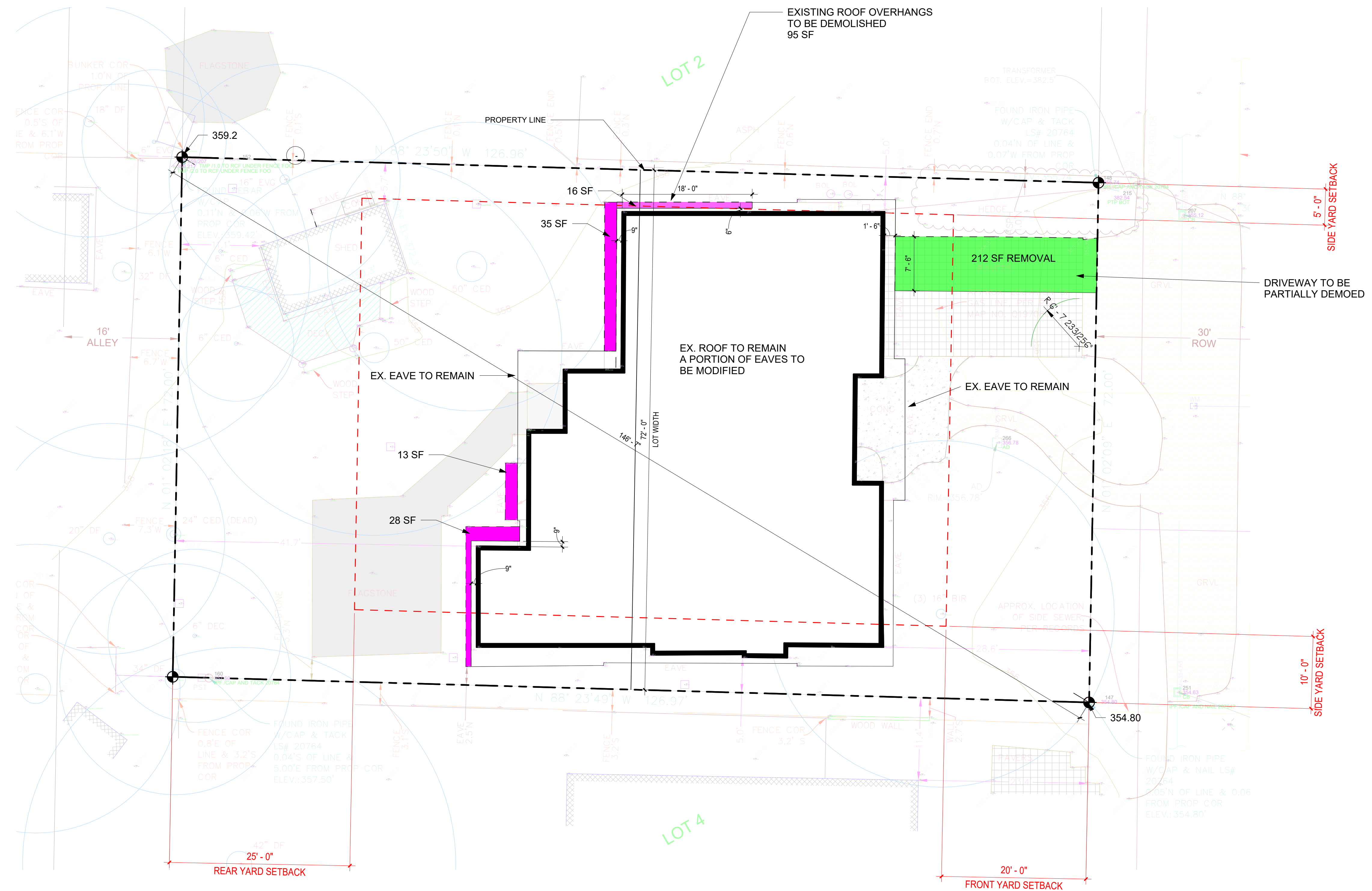
ALLOWED LOT COVERAGE: 40% OF LOT AREA : 3,656.4 SF

**EXISTING LOT INFORMATION:**

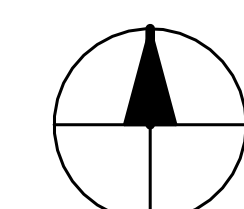
LOT AREA: 9,141 SF  
ALLOWED LOT COVERAGE: 3,656.4 SF (40%)  
EX. ROOF AREA: 3275.23 SF  
EX DRIVEWAY: 462.93 SF  
EXISTING LOT COVERAGE: 3,738.16 SF (40.89 % ) > 3,656.4 SF (40%) NON-COMPLIANT

**AREAS REMOVED FOR COMPLIANCE:**

REMOVED FROM MAIN HOUSE ROOF: 92 SF  
REMOVED FROM DRIVEWAY: 212 SF  
TOTAL LOT COVERAGE AREA REMOVED: 304 SF



**1 SITE PLAN - DEMO**  
1/8" = 1'-0"



SZ

SUZANNE ZAHR INC.  
2441 SE 76TH AVE, SUITE 160  
MERCER ISLAND, WASHINGTON 98040  
T. 206 354 1567  
WWW.SUZANNEZAHR.COM

**PEOPLE RESIDENCE**  
**ACCESSORY STRUCTURE**  
4617 89TH AVE SE  
MERCER ISLAND, WA 98040

PROJECT NUMBER  
**23004**

9221 REGISTERED ARCHITECT  
SUZANNE ZAHR  
STATE OF WASHINGTON

ISSUED / REVISIONS	DATE

ISSUE DATE: 05.14.24  
DRAWN BY: SA  
CHECKED BY: SZ

SITE PLAN - DEMO

SHEET NUMBER  
**A1.0**

PERMIT SET

**EXISTING LOT INFORMATION:**

LOT AREA: 9,141 SF  
 ALLOWED LOT COVERAGE: 3,656.4 SF (40%)  
 EX. ROOF AREA: 3275.23 SF  
 EX DRIVEWAY: 462.93 SF

EXISTING LOT COVERAGE:  
 3,738.16 SF (40.89 % ) > 3,656.4 SF (40%) **NON-COMPLIANT**

**AREAS REMOVED FOR COMPLIANCE:**

REMOVED FROM MAIN HOUSE ROOF: 92 SF  
 REMOVED FROM DRIVEWAY: 212 SF

**TOTAL LOT COVERAGE AREA REMOVED: 304 SF**

**PROPOSED CHANGES:**

PROPOSED MAIN ROOF AREA (WITH 6" OVERHANGS): 3,183.23 SF  
 PROPOSED DRIVEWAY AREA: 250.93 SF  
 PROPOSED ACCESSORY STRUCTURE ROOF AREA: 197 SF  
 PROPOSED SHED AREA: 20 SF

**TOTAL LOT COVERAGE: 3,651.16 SF (39.9%) < 3,656.4 SF (40%) COMPLIANT**

**HARDSCAPE CALCULATION:**

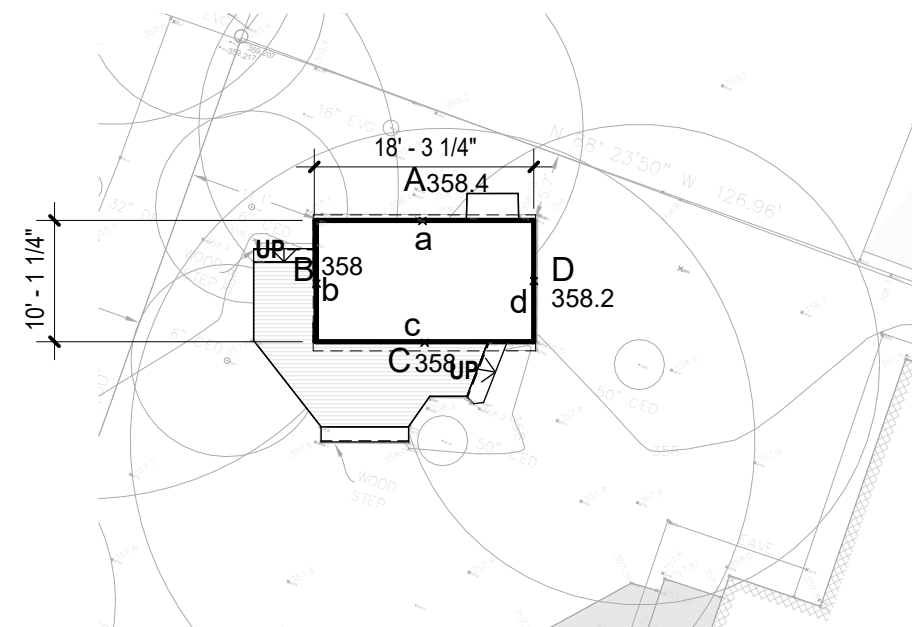
ALLOWED GFA: 95 OF LOT AREA 822.69 SF  
 EX. UNCOVERED PATIO: 480.5 SF  
 EX WALKWAYS 158 SF  
**TOTAL EX. HARDSCAPE: 638.5 SF < 822.69 SF**  
 PROPOSED UNCOVERED DECK 125 SF  
 PROPOSED PATIO 1.5 SF  
**TOTAL PROPOSED HARDSCAPE: 765 SF < 822.69 SF**

**PROPOSED GFA CALCULATION:**

B.R-9.6: 8,000 SQUARE FEET OR 40 PERCENT OF THE LOT AREA, WHICHEVER IS LESS.

ALLOWED GFA (40% OF LOT AREA): 3,656.4 SF  
 EX. MAIN HOUSE + ATTACHED GARAGE: 2,713 SF  
**EXISTING GFA: 2,713 SF - 29%**

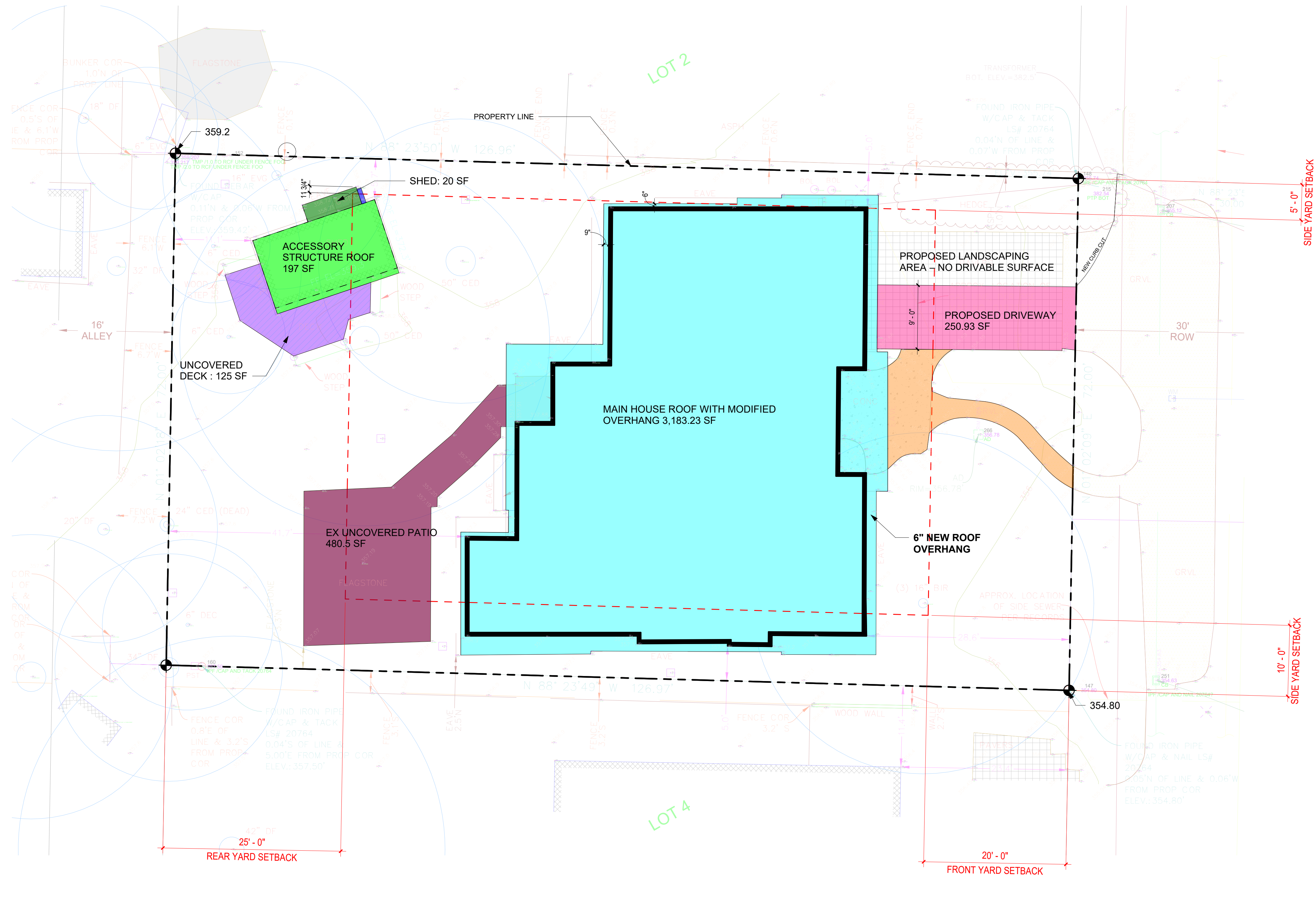
PROPOSED ATTACHED ACCESSRY STRUCTURE 184 SF  
**PROPOSED GFA 2,897 SF - 31%**



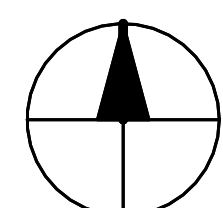
**3 ABE CALCULATION**  
 1/16" = 1'-0"

	MIDPOINT ELEVATION		WALL SEGMENT LENGTH	
A	358.4	a	18.1	6487.04
B	358	b	10.1	3615.8
C	358	c	18.1	6479.8
D	358.2	d	10.1	3617.82
		Total	56.4	20200.46

ABE 358.1641844



**1 SITE PLAN - PROPOSED**  
 1/8" = 1'-0"

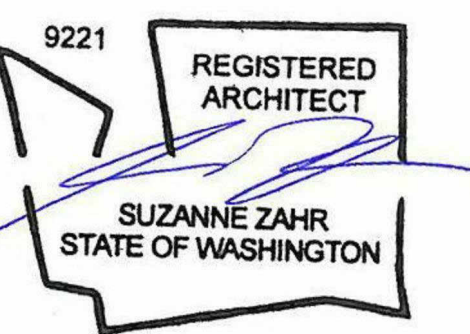


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**23004**



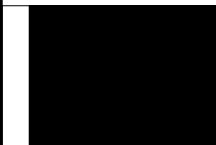
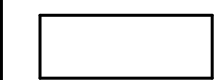

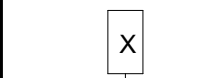

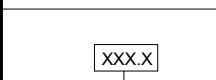
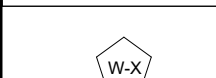
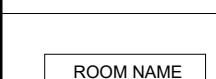


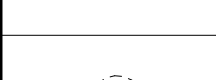
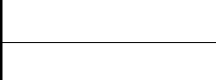
ISSUED / REVISIONS	DATE

ISSUE DATE: 05.14.24  
 DRAWN BY: SA  
 CHECKED BY: SZ

**SITE PLAN - PROPOSED**

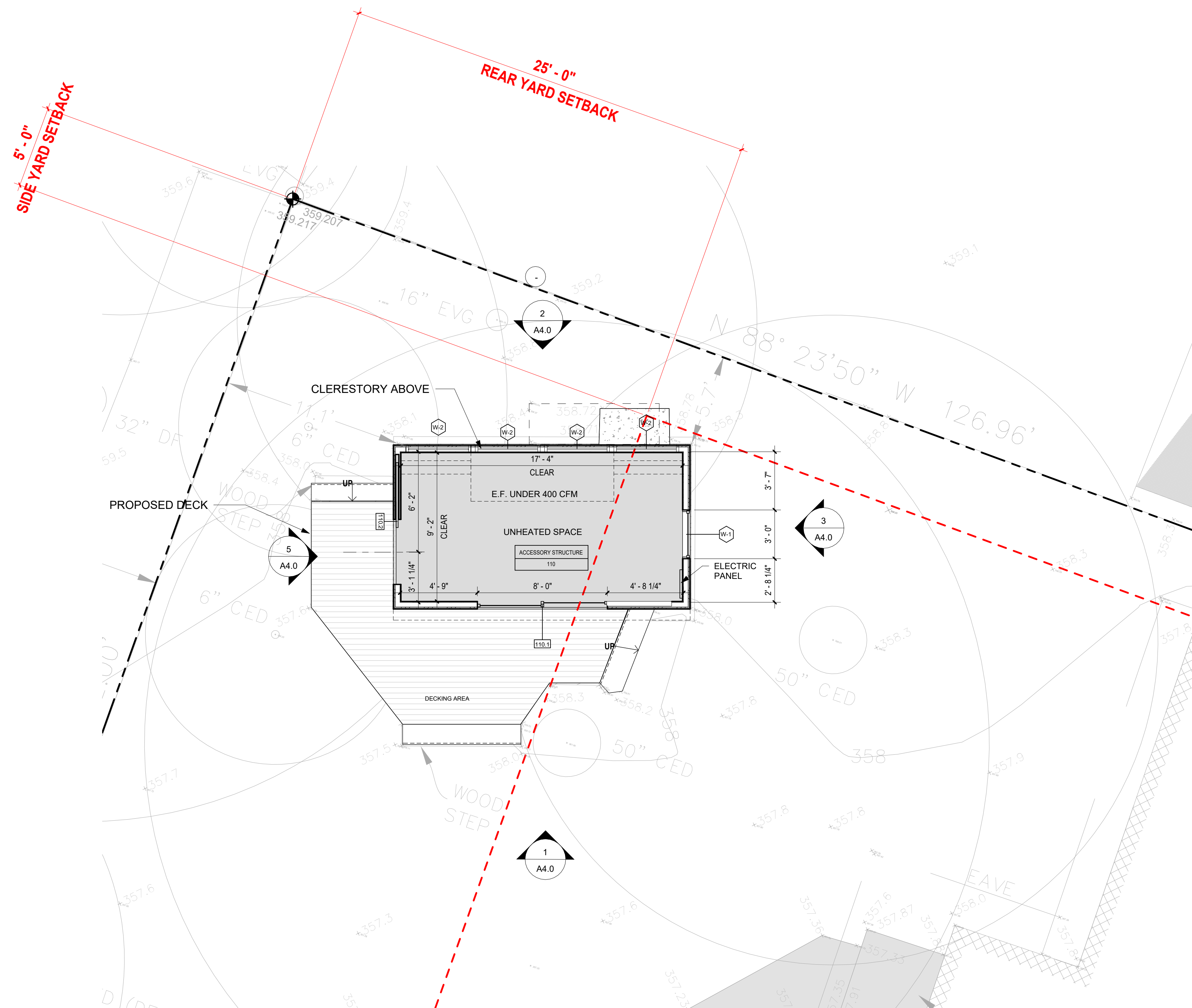
SHEET NUMBER  
**A1.1**

**PERMIT SET**

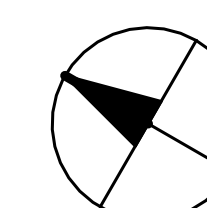
LEGEND	
	BLACK SOLID INFILL REPRESENTS EXISTING BUILDING WALLS TO REMAIN (BLOCKWORK, STOREFRONT, STRUCTURE, ETC.)
	REPRESENTS NEW WALL.
	REPRESENTS INSULATION
	REPRESENTS A WALL TAG.
	REPRESENTS WALL DIMENSION FROM FACE OF STRUCTURE UNLESS NOTED OTHERWISE
	REPRESENTS A DOOR TAG.
	REPRESENTS A WINDOW TAG.
	REPRESENTS A ROOM TAG.
	REPRESENTS OVERHEAD OR BELOW.
	REPRESENTS OVERHEAD EXHAUST FAN (MIN. 80 CFM).
	REPRESENTS OVERHEAD SMOKE DETECTOR.
	REPRESENTS OVERHEAD CARBON MONOXIDE DETECTOR

WINDOW SCHEDULE									
TAG	MANUFACTURER	LOCATION	QTY.	WIDTH	HEIGHT	AREA	Mark	SAFETY GLAZING	
W-1		ACCESSORY STRUCTURE	1	3' - 0"	3' - 0"	9 SF	CASEMENT	NO	
W-2		ACCESSORY STRUCTURE	4	4' - 0"	2' - 0"	8 SF	FIXED	NO	

DOOR SCHEDULE								
TAG	DESCRIPTION	LEVEL	LOCATION	DOOR WIDTH	DOOR HEIGHT	AREA	SAFETY GLAZING	
110.1	SLIDING POCKET GLASS PATIO DOOR	FINISH FLOOR	ACCESSORY STRUCTURE	8' - 0"	6' - 10"	55 SF	YES	
110.2	POCKET GLASS PATIO DOOR	FINISH FLOOR	ACCESSORY STRUCTURE	4' - 0"	6' - 10"	27 SF	YES	



**1** ACCESSORY STRUCTURE FLOOR PLAN  
1/4" = 1'-0"



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**PEOPLE RESIDENCE**  
**ACCESSORY STRUCTURE**

4617 89TH AVE SE  
MERCER ISLAND, WA 98040

PROJECT NUMBER

**23004**

9221

REGISTERED ARCHITECT

SUZANNE ZAHR  
STATE OF WASHINGTON

ISSUED / REVISIONS DATE

ISSUE DATE: 05.14.24

DRAWN BY: SA

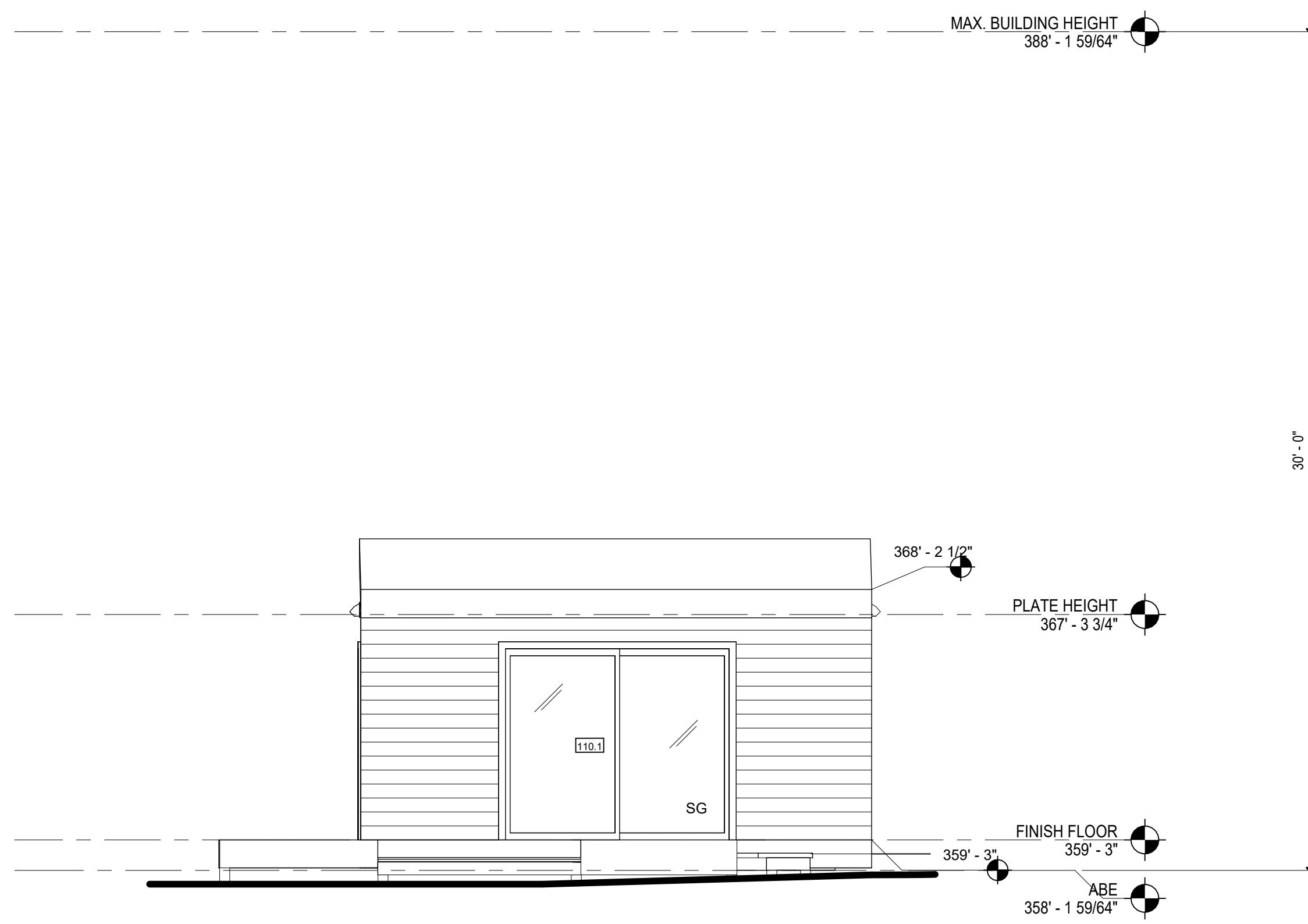
CHECKED BY: SZ

**ACCESSORY STRUCTURE FLOOR PLAN**

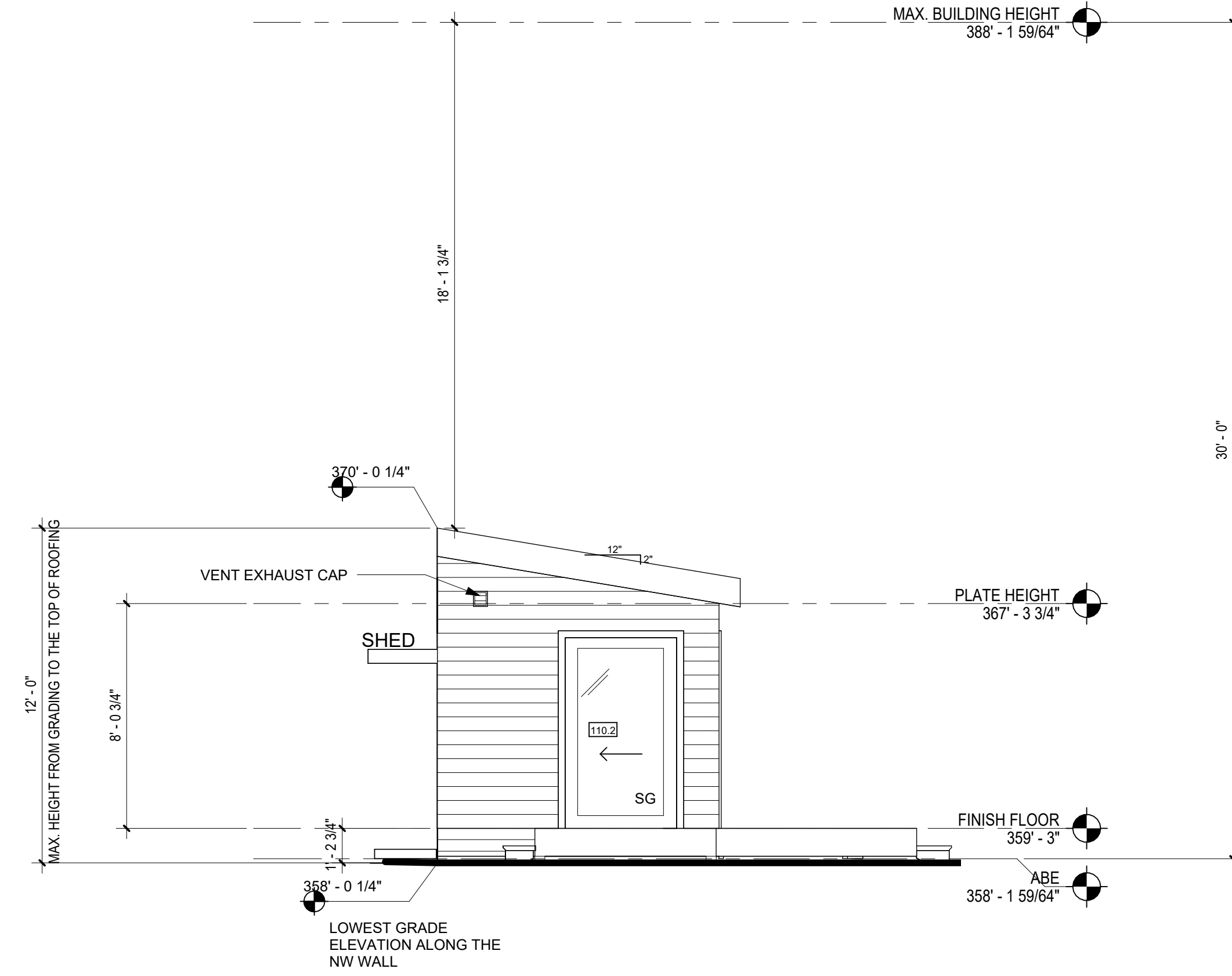
SHEET NUMBER

**A2.1**

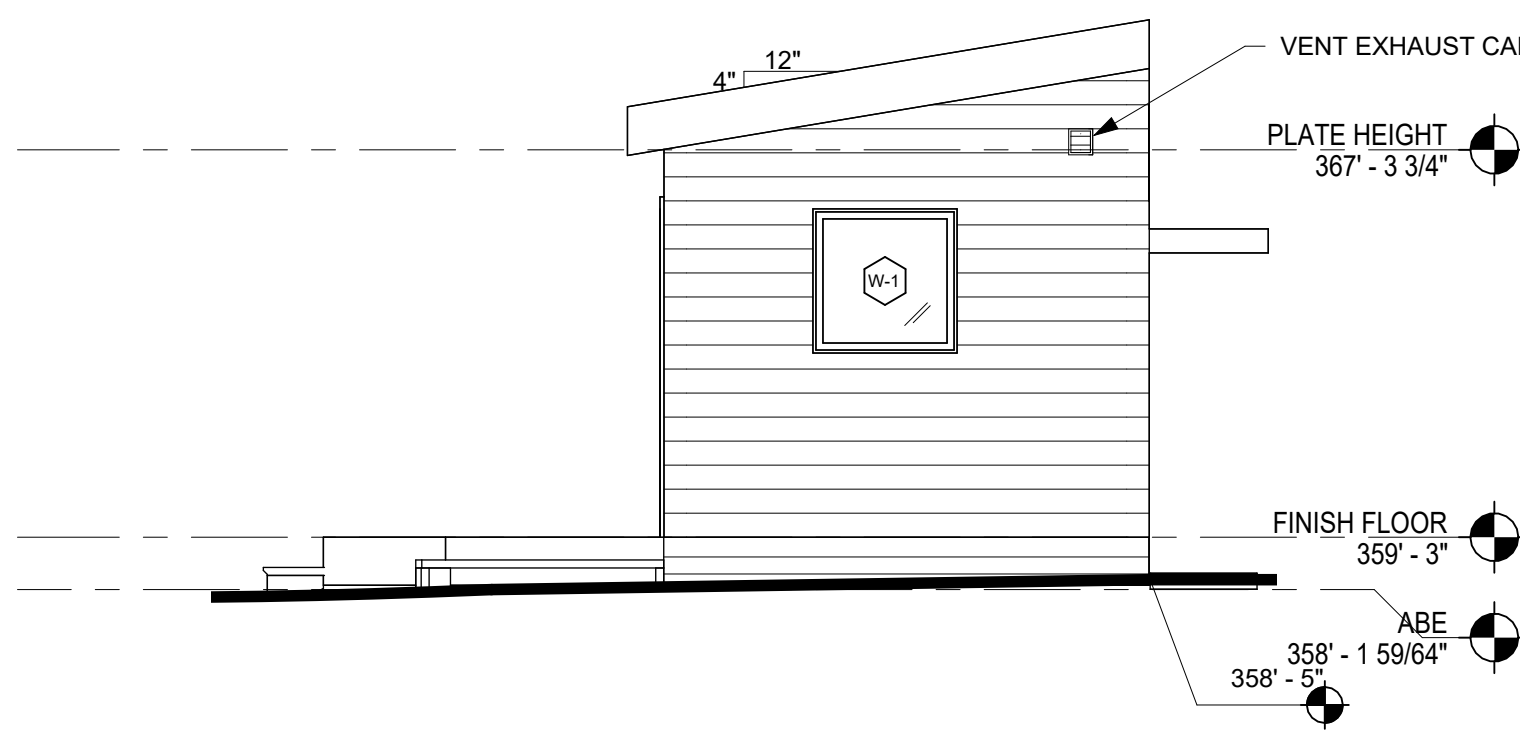
**PERMIT SET**



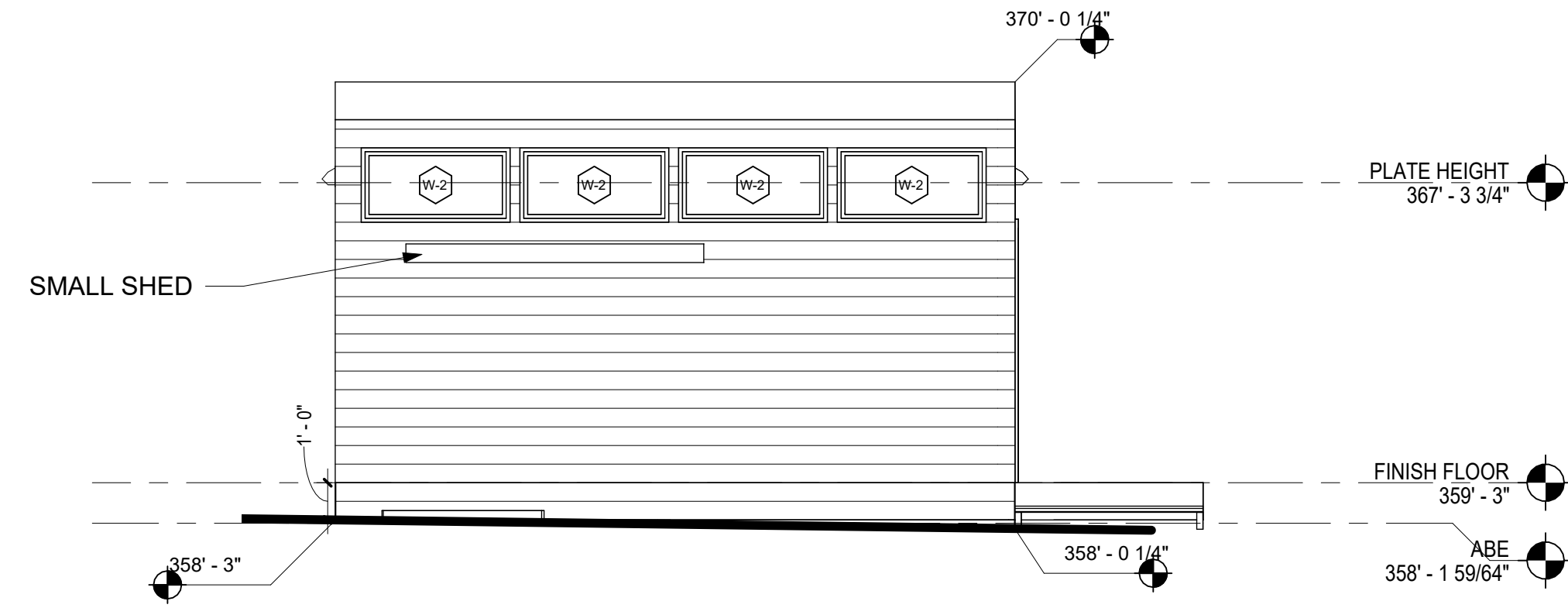
**1** NORTHWEST ELEVATION  
1/4" = 1'-0"



**5** NORTHEAST ELEVATION  
1/4" = 1'-0"



**3** SOUTHWEST ELEVATION  
1/4" = 1'-0"



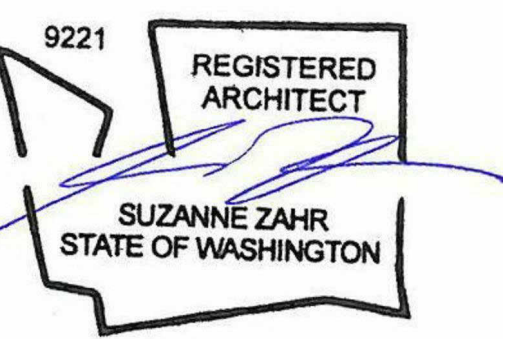
**2** SOUTH EAST ELEVATION  
1/4" = 1'-0"

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ISSUED / REVISIONS	DATE

ISSUE DATE: 05.14.24  
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**BUILDING ELEVATIONS**

SHEET NUMBER  
**A4.0**

**PERMIT SET**

# SZ

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 MERCER ISLAND, WASHINGTON 98040  
 T. 206 354 1567  
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**PROJECT NUMBER**  
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9221 REGISTERED ARCHITECT  
 SUZANNE ZAHR  
 STATE OF WASHINGTON

ISSUED / REVISIONS	DATE

ISSUE DATE: 05.14.24  
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**MANUFACTURER DRAWINGS #1**

**SHEET NUMBER**  
**A5.0**

**PERMIT SET**

**NOTE: ARCHITECTURAL DIMENSIONS PER A4.0**

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**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

Modern Shed  
 Design Confirmation Drawings  
 Not to be used for permitting

PROJECT TITLE: PEPPLE 10X18  
 OWNER: Terry and Lisa Pepple  
 4617 89th Ave SE  
 Mercer Island, WA 98040  
 PROJECT INFO: JOB NO: 2207004, DATE: 07/31/22, DRAWN BY: JB

APPROVED - AS DRAWN  
 APPROVED - WITH MINOR CHANGES  
 NOTE CHANGES ON PAGE 2  
 CLIENT SIGNATURE: Terry Pepple  
 DATE: 9/8/2022

3 OF 7

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<b>Modern Shed LLC</b>	<b>Pricer V-29-Summer 2022</b>	<b>8'x/10'x/12'x/14'x</b>
------------------------	--------------------------------	---------------------------

Name: Terry & Lisa Pepple  
 Date: 07/29/22  
 Size: 10 X 18  
 Height restriction:  

Job #: 2207004  
 Permitting: No  
 Model: Front Wall Bearing  
 Revision #: R1

Installer: Dave W  
 Location: Mercer Island  
 Use: Glass Art Studio  
 Sales person: Jeff Bergerson

**BASE BOX PRICING**

1	Sides B and D 8x, 10x
---	-----------------------

Standard walls include: (exceptions/options listed lower on page)  
 2x4 studs, R13 batt insulation, 7/16" OSB exterior sheathing, (ZipWall on open joint siding), pre-assembled top cap and transom glass frames with insulated double pane glass units. Roof and floor: see below

**Wall Framing**

1	2x4 stud framing-holes drilled for wiring
---	---

**Wall Insulation**

1	R-13 Wall insulation-(batt)
---	-----------------------------

**Front Wall Bearing Design**

1	Side A bears roof weight (eliminates roof beam) exchanges transom IGU's for PG vinyl windows
1	Upgrade white contractor transom frames, to Dark Bronze Pro series, ***NO RAKE WALL TRANSOMS

**OPTIONS**

**Interior Wall Covering**

1	No interior wall paneling selected (interior wall covering by others)
---	---

**Electrical Preparations**

1	Ceiling chase in all roof panels except ends above rake walls.(Allows overhead electrical box connection.)
---	--

**Roof System**

Roof system includes 1/2" plywood sheathing, roofing felt, snap-loc standing seam metal roofing and trim, glulam beam, ceiling liner, flashing and fascia. See below for rafter size and insulation value.

**Classic - roof style**

1	Standard eave/overhangs = 6 in Side A, 3 in sides B, C, D
1	Water & Ice shield roofing underlayment -required in snowy or rainy climates and coastal regions
1	2x6 joist-rafters, R-38 rigid foam insulation-unvented

**Ceiling Liner**

1	1x6 Knotty Pine Tongue & Groove
---	---------------------------------

**Floor System:**

1	R-21 Insulation package (2x6 joists, 4x10 beams, batt insulation)
---	---

**Exterior Siding:**

1.00	Hardie Lap 12" Smooth Face UNPAINTED includes house wrap, window/door/corner trim
------	---

**Upper trim-Top cap/transom window frames/fascia**

1	Primed-UNPAINTED transom frames, top cap and fascia
---	---

**Extra Wall Height**

3	Per foot added to wall height
---	-------------------------------

**Doors: - All doors include lock-sets**

2	Door(s) by others-Rough opening framing ONLY - See drawing for dimensions
---	---

**Windows: - includes framing (all operable windows include screens)**

1	Window(s) by others (ENTER QTY) - Rough opening framing ONLY-See drawing for dimensions
---	---

**Interior window trim:**

1	Window trim by others
---	-----------------------

**Crating / Loading**

1	Hand loading into enclosed trailer for delivery
---	---

**NO RAKE WALL TRANSOMS WINDOWS**

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**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

Modern Shed  
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 OWNER: Terry and Lisa Pepple  
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 Mercer Island, WA 98040  
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APPROVED - AS DRAWN  
 APPROVED - WITH MINOR CHANGES  
 NOTE CHANGES ON PAGE 2  
 CLIENT SIGNATURE: Terry Pepple  
 DATE: 9/8/2022

3 OF 7



ISSUED / REVISIONS	DATE

ISSUE DATE: 05.14.24  
DRAWN BY: SA  
CHECKED BY: SZ

**MANUFACTURER DRAWINGS #2**

SHEET NUMBER  
**A5.1**

**PERMIT SET**

**NOTE: ARCHITECTURAL DIMENSIONS PER A4.0**

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PROJECT TITLE  
**PEPPE 10X18**

OWNER  
**Terry and Lisa Pepple**  
4617 89th Ave SE  
Mercer Island, WA 98040

PROJECT INFO  
JOB NO.: 220704  
DATE: 07.31.22  
DRAWN BY: JS

REVISIONS

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DRAWING NUMBER  
**6 OF 7**

**(D) RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

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 APPROVED - WITH MINOR CHANGES NOTE CHANGES ON THESE DRAWINGS BY: Terry Pepple DATE: 9/8/2022

CLIENT SIGNATURE: Terry Pepple DATE: 9/8/2022

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**PEPPE 10X18**

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**Terry and Lisa Pepple**  
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PROJECT INFO  
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DATE: 07.31.22  
DRAWN BY: JS

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**(C) REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

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CLIENT SIGNATURE: Terry Pepple DATE: 9/8/2022

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**SIDE D/C RENDERING**

**SIDE A/D RENDERING**

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**PEPPE 10X18**

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**Terry and Lisa Pepple**  
4617 89th Ave SE  
Mercer Island, WA 98040

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JOB NO.: 220704  
DATE: 07.31.22  
DRAWN BY: JS

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DRAWING NUMBER  
**7 OF 7**

**(B) LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

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CLIENT SIGNATURE: Terry Pepple DATE: 9/8/2022

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**4 OF 7**

**(B) LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

APPROVED - AS DRAWN PLEASE NOTE: ANY CHANGES AFTER SIGNATURE APPROVING THESE DRAWINGS WILL INCUR EXTRA CHANGES TO STRUCTURAL AND POSSIBLY AN ADDITIONAL A/C/D DRAWING FEE.  
 APPROVED - WITH MINOR CHANGES NOTE CHANGES ON THESE DRAWINGS BY: Terry Pepple DATE: 9/8/2022

CLIENT SIGNATURE: Terry Pepple DATE: 9/8/2022

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